

HISTORIC PRESERVATION BOARD

APRIL 24, 2012


CERTIFICATE OF APPROPRIATENESS FOR DESIGN


- FILE NO:** 12-C-35
APPLICANT: Russ and Ella Kodner
LOCATION: 949 South Northlake Drive
REQUEST: Certificate of Appropriateness for Design for exterior renovations to an existing single-family home located in the Lakes Area Historic Multiple Resource Listing District.

**CITY OF HOLLYWOOD, FLORIDA
INTER-OFFICE MEMORANDUM
PLANNING & DEVELOPMENT SERVICES**

DATE: April 24, 2012 **FILE:** 12-C-35

TO: Historic Preservation Board

VIA: Andria Wingett, Assistant Director 

FROM: Elizabeth Chang, Planning and Development Services Administrator 

SUBJECT: Russ and Ella Kodner requests a Certificate of Appropriateness for Design for exterior renovations to an existing single-family home located at 949 South Northlake Drive in the Lakes Area Historic Multiple Resource Listing District.

APPLICANT REQUEST

Certificate of Appropriateness for Design for exterior renovations.

STAFF'S RECOMMENDATION

Certificate of Appropriateness for Design: Approval, with the condition a Unity of Title, in a form acceptable to the City Attorney, be submitted prior to the issuance of permits and recorded in the Broward County Public Records prior to Certificate of Occupancy (C/O) or Certificate of Completion (C/C).

BACKGROUND

The applicant is proposing exterior renovations to an existing single-family home. The two-story home was constructed in 1959 according to information provided by the applicant. It is located on two lots approximately 60' wide by 232' long. The home appears to have some architectural features of Mediterranean Revival; however, was constructed during the Post War Modern era. The home was built by a construction company, perhaps as a new large-scale home along Northlake. Based on the history of permit activity (Attachment A) submitted by the applicant, there were several changes that occurred to the home during the 1990's and early 2000's and, more recently, in 2010. The rotunda was added to the front of the home in 2001 and a 357 sq ft addition at the rear in 2010, which included renovations to the existing pool and pool deck. Existing features include "S" tile roof, decorative chimney, arched windows, and a rotunda. Materials include stucco and aluminum windows.

REQUEST

Exterior renovations include façade renovations to the front of the home in order to provide a contemporary-modern architectural style. Included in the scope of work is a grass paver driveway to replace an existing paver driveway. Additionally, the curb cut will be relocated towards the center of the property and will be reduced from approximately 19' to 12'. Decorative planters and a new fountain will be incorporated. Additional landscaping will be included with pervious areas increased from 32% to approximately 37%.

The roof structure will be maintained over the main portion of the home; however, the roof over the garage will be removed in order to obtain the flat roof and modern architectural style along the front elevation. The existing home is approximately 24 ft in height, at the highest point of the roof, which will be maintained. Proposed façade renovations will include a parapet with an overall height of approximately 20 ft. Arched windows along the south elevation will be removed and replaced with square, white framed, impact glass windows to match the rest of the home. The main entrance to the home will be reconfigured with removal of the rotunda to a squared of entry-way in order to complete the contemporary modern style.

The Historic Preservation Board is guided by the Secretary of the Interior's Standards for Rehabilitation and the City of Hollywood's Design Guidelines for Historic Properties and Districts. These documents offer design controls for materials, scale, massing and location for all properties within the district. The proposed renovations are consistent with the character of the Historic Lakes Section and designed in such a way that maintains the spatial relationship with surrounding properties in its scale and massing.

SITE BACKGROUND

Applicants/Owners: Russ and Ella Kodner
Address/Location: 949 South Northlake Drive
Size of Property: 0.32 acres
Present Zoning: Single Family Residential (RS-9)
Lakes Area Historic Multiple Resource Listing District
Present Land Use: Single Family Residence
Year Built: 1959 (Broward County Property Appraiser)

ADJACENT ZONING

North: Government Use District
South: Single Family Residential District (RS-6)
Lakes Area Multiple Resource Listing District (HMPRL0D-1)
East: Single Family Residential District (RS-9)
Lakes Area Multiple Resource Listing District (HMPRL0D-1)
West: Single Family Residential District (RS-9)
Lakes Area Multiple Resource Listing District (HMPRL0D-1)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

Within the Comprehensive Plan, the primary goal of the Land Use Element is to "promote a distribution of land uses that will enhance and improve the residential, business, resort and natural communities while allowing the land owners to maximize the use of their property."

The proposed renovations allow the applicant to make the necessary improvements while maximizing the use of their property. By allowing the applicant to improve the structure, the City is accomplishing the desired reinvestment in an existing contributing site in the Lakes Area Historic Multiple Resource Listing District while maintaining the character of the neighborhood.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The City-Wide Master Plan (CWMP) places a priority on protecting, preserving and enhancing residential neighborhoods. It addresses the need for strict design controls to maintain the individual character of each neighborhood. The proposed renovations are sensitive to the character of the Historic Lakes Section through its design which is similar to existing structures in the surrounding neighborhood.

Policy CW.15: Place a priority on protecting, preserving and enhancing residential neighborhoods.

Policy 2.46 encourages the preservation of stable neighborhoods and rehabilitation initiatives that will revitalize and promote stability of neighborhoods.

The CWMP also states "the single-family character of the area should be preserved and enhanced through strict zoning code enforcement, traffic calming and streetscape improvements." The project has minimal impact on the current streetscape without interference with existing landscaping.

CONSISTENCY WITH THE HOLLYWOOD LAKES NEIGHBORHOOD PLAN

The Hollywood Lakes Neighborhood Plan seeks to maintain and preserve the character and integrity of the existing residential community by protecting historical areas. It also seeks to eliminate the encroachment of negative residential uses.

The proposed renovations do not adversely affect the integrity of the Historic District. The house is considered to be a contributing structure in scale and massing. The design is sensitive in scale and character to the existing structure and neighborhood.

DECISIONS ON CERTIFICATES OF APPROPRIATENESS FOR DESIGN

A decision on an application for a Certificate of Appropriateness for Design for new building construction, additions to existing building, major renovation work or substantial alteration shall be based upon evaluation of the compatibility of the physical alteration or improvement with and adherence to the criteria for designation listed in § 5.6.F.

Criteria: integrity of location, design, setting, materials, workmanship and association.

CRITERION: INTEGRITY OF LOCATION

ANALYSIS: Design Guidelines for Historic Properties and Districts recommends *consistent spacing and setback*. Additionally, the Guidelines further recommend having the *main entrance oriented to the street* and *site coverage similar to adjacent lots*. The applicant is proposing exterior renovations to the home which includes a new façade with a contemporary modern architectural style. Setbacks and orientation of the building will be maintained. The property contains multiple lots and the proportions of building to lot are consistent with other properties in the neighborhood.

FINDING: Consistent

CRITERION: DESIGN

ANALYSIS: According to information provided by the applicant, the house was constructed in 1959. Since then, several alterations have occurred on the home, with the rotunda added in 2001 and a second story addition at the rear, more recently, in 2010. The home appears to have architectural features of Mediterranean; however, was constructed in the Post War Modern era.

The applicant is proposing façade renovations to the front of the home in order to give it a contemporary modern architectural style. The roof of the main portion of the home will be maintained with the roof of the garage removed. This portion of the roof will be replaced with a flat roof and the roof of the main home will be concealed with a parapet to complete the modern appearance. The rotunda will be replaced with a modern entry-way with a cantilevered overhang. Height of the existing home is approximately 24 ft, at the highest point of the roof, which will be maintained. Proposed façade renovations will include a parapet with an overall height of approximately 20 ft.

Included in the scope of work is a grass paver driveway to replace an existing paver driveway. Additionally, the curb cut will be relocated towards the center of the property and will be reduced from approximately 19 ft to 12 ft. Decorative planters and a new fountain will also be incorporated. Additional landscaping will be included with pervious areas increased from 32% to approximately 37%. As stated by the architect, "The proposal maintains the integrity of contemporary designs within the Lakes. The new proposal will maintain the existing front side and rear setbacks and open space. The new landscape design will be refined and natural to the architectural setting."

FINDING: Consistent

CRITERION: SETTING

ANALYSIS: The Historic District Design Guidelines state *setting is the relationship of buildings within the Historic District and the surrounding site and neighborhood.* When making alterations or additions it is recommended *distinctive features such as size, mass, color, and materials of buildings* are retained. It is compatible with the surrounding neighborhood. Scope of work includes renovations to the front façade to incorporate an updated contemporary modern architectural style.

According to the Design Guidelines, the design element of scale relates to the size of the building components or spaces relative to the human body as well as to the larger context relative to the surrounding buildings, streetscape and environment. Massing is an element of design and relates to how the building form, shape and components are perceived in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings. The massing of structures should focus on the diversity of styles. As proposed, the renovations do not alter the scale and massing in this portion of the street.

FINDING: Consistent

CRITERION: MATERIALS

ANALYSIS: Design Guidelines for Historic Properties and Districts state *materials are an important part of the fabric of any historic district or property and help to maintain the historic character of the place. Furthermore, materials that are compatible in quality, color, texture, finish, and dimension to those that are in the historic district should be used. Designing new work which is incompatible with the other buildings in the neighborhood in materials, size, scale, and texture should be avoided.* Materials used are consistent with the contemporary modern style and compatible with the existing home.

The existing roof of the main portion of the home will be maintained and proposed renovations consist of a flat roof with parapet. Windows will be changed to impact resistant casement windows. It is the applicant's intent to add character to the home by providing a contemporary modern architectural style.

FINDING: Consistent

CRITERION: WORKMANSHIP

ANALYSIS: The Design Guidelines recommend consideration of significant materials before undergoing rehabilitation of a historic structure or property. Materials of the porch, roof, and windows are consistent with the existing structure and are sensitive in design and nature to the home and adjacent properties.

FINDING: Consistent

CRITERION: ASSOCIATION

ANALYSIS: When making updates to a home, the Design Guidelines recommend maintaining a layout and lot coverage similar to surrounding properties. Lot proportions will be maintained and are consistent with other residences in the neighborhood. As such, it will not have negative impacts on adjacent properties.

FINDING: Consistent

RECOMMENDATION

Certificate of Appropriateness for Design: Approval, with the condition a Unity of Title, in a form acceptable to the City Attorney, be submitted prior to the issuance of permits and recorded in the Broward County Public Records prior to Certificate of Occupancy (C/O) or Certificate of Completion (C/C).

ATTACHMENTS

ATTACHMENT A: Application Package
ATTACHMENT B: Aerial Photograph

ATTACHMENT A
Application Package

OFFICE OF PLANNING



File No. (to be filled by the Office of Planning): 12-C-35

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at http://www.hollywoodfl.org/comm_planning/appforms.htm



APPLICATION TYPE (CHECK ONE):

- Development Review Board
 - Historic Preservation Board
 - Planning and Zoning Board
 - Technical Advisory Committee
 - City Commission
- Date of Application: _____

Location Address: 949 S. Northlake DR Hollywood
 Lot(s): 28 Block(s): 65 Subdivision: HOLLYWOOD LAKES
 Folio Number(s): 3142-14-01-7040

Zoning Classification: RES Land Use Classification: RES
 Existing Property Use: Residential Sq Ft/Number of Units: 4642SF/1

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.
 Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- Economic Roundtable
- Technical Advisory Committee
- Development Review Board
- Planning and Zoning Board
- Historic Preservation Board
- City Commission

Explanation of Request: NEW 130SF ADDITION AND RENOVATION TO THE EXTERIOR FRONT, DRIVE + LANDSCAPE at front

Number of units/rooms: 4 EXISTING Sq Ft: 4642 ^{EXISTING} 4723 ^{NEW}

Value of Improvement: _____ Estimated Date of Completion: DEC 2012

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: Ella & Russ Kodner
 Address of Property Owner: 949 S. Northlake DR.
 Telephone: 305 439 6963 Fax: _____ Email Address: EllaF303@GOL

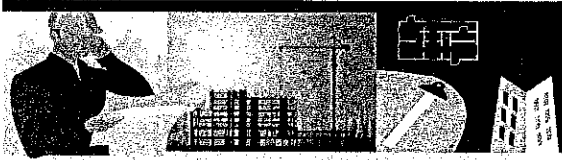
Name of Consultant Representative/Tenant (circle one): ANNIE CARRUTHERS
 Address: 1609 RODMAN ST HOLLYWOOD Telephone: 954-921-5333
 Fax: 954-921-6769 Email Address: ANNIE@INSITEDESIGNGROUP.COM

Date of Purchase: _____ Is there an option to purchase the Property? Yes () No (X)
 If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____
 Email Address: _____

OFFICE OF PLANNING



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: [Signature]

Date: 3/26/12

PRINT NAME: ELLA KOEHLER

Date: _____

Signature of Consultant/Representative: [Signature]

Date: 3/26/12

PRINT NAME: ANNIE CARROLL

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

CURRENT OWNER POWER OF ATTORNEY

I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) KOHLER to my property, which is hereby made by me or I am hereby authorizing (name of the representative) ANNIE CARROLL to be my legal representative before the Historic (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this _____ day of _____

SIGNATURE OF CURRENT OWNER

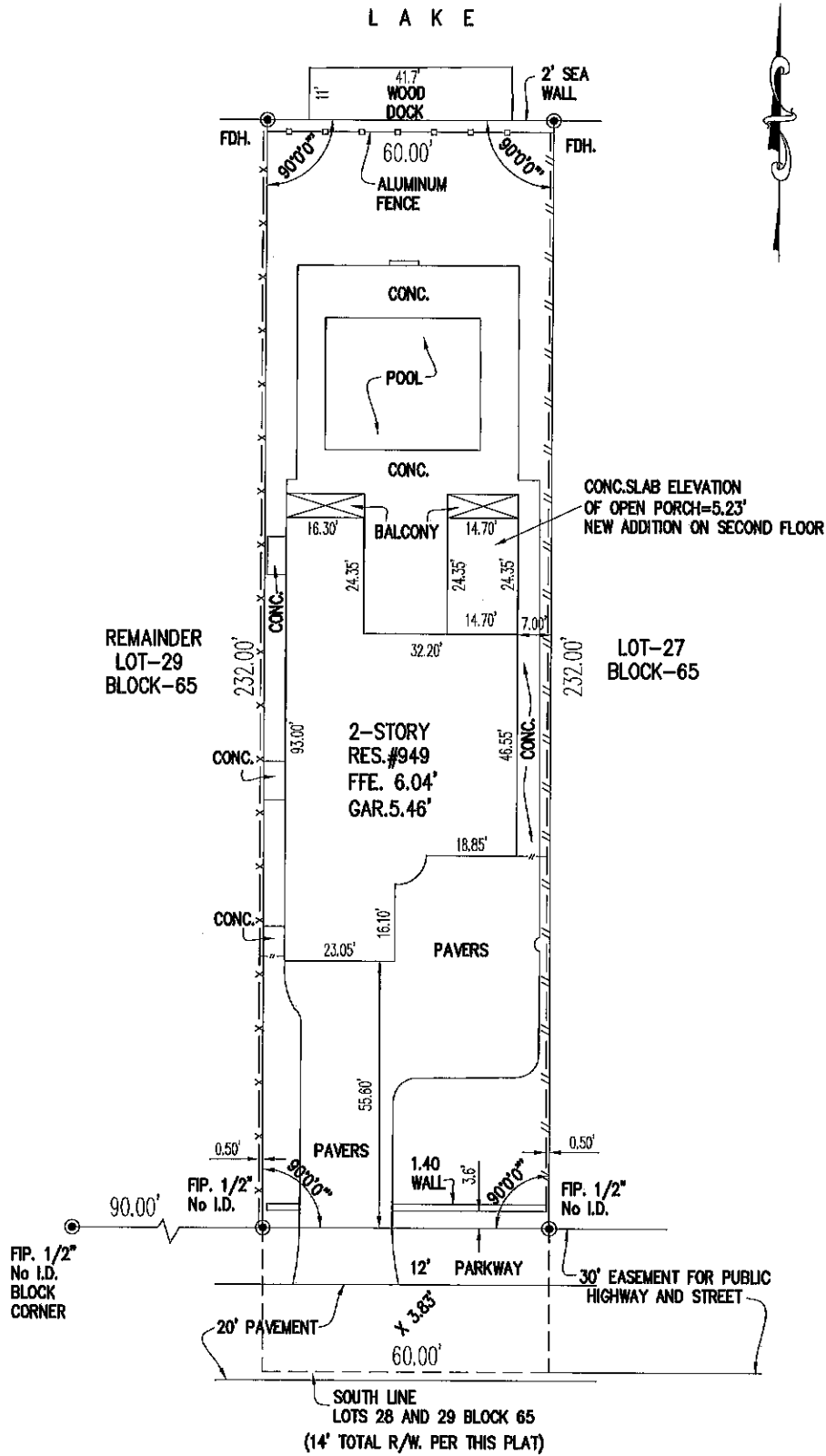
Notary Public State of Florida

PRINT NAME

My Commission Expires: _____ (Check One) _____ Personally known to me; OR _____

SKETCH OF SURVEY

SCALE: 1" = 30'



SOUTH NORTH LAKE DRIVE

THIS SURVEY MAP OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER.

LEGEND

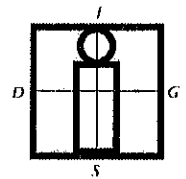
- o— Overhead Wire Line
- //— Wood Fence
- x— Chain Link Fence
- ⊙ Existing Elevations
- ⊙ Water Meter
- ⊙ Catch Basin
- ⊙ Power Pole
- ⊙ Light Pole
- F.D.H. = Found Drill Hole
- F.N.D. = Found Nail & Disc.
- F.I.R. = Found Iron Rebar

ANNIE CARRUTHERS

PRINCIPAL

CGC1511058

annie@insitedesigngroup.com



**IN-SITE
DESIGN
GROUP INC**

ARCHITECTURAL
SERVICES

AA26001758

1609 Rodman Street
Hollywood, FL 33020
954 921 5333

954 921 6769 Fax
insitedesigngroup.com

Justification Statement

Historic Board

March 27, 2012

949 South Northlake Drive

History

According to the tax roll, 949 South Northlake Drive's actual year built is listed as 1959. The effective year is noted as 1998.

Over the past 14 years the structure has been renovated through a number of additions, remodels and repairs. A renovation to the exterior was completed in 2001 by Stefano De Luca and associates Inc Architecture in Boca Raton. This renovation and addition added a rotunda to the front entry door and created a Mediterranean style home with arched windows. In 2010 a 357 square foot addition was completed which added a master bedroom to the second floor in addition to a new terrace on the ground floor in the rear. This addition in 2010 was completed by Gregory Nicholay Architect.. The addition was completed for the current owners. The current owners, Mr. and Mrs. Kodner modernized the interior of the residence replacing all the finishes and fixtures to a contemporary look, added a pool, and a pool deck that was in keeping with their contemporary interior décor. The balconies in the rear were also renovated in 2010, squared off and a glass modern railing was installed. The Kodners completed the 2010 renovation in an effort to modernize the look of their home both inside and out. The owners now wish to create a contemporary home in the front.

Integrity of location

All of the previously mentioned additions, renovations and alterations have resulted in a disconnect between the interior and rear of the residence to the Mediterranean front facade. The proposed project re-establishes the integrity of the location by keeping within the integrity of various modern architectural styles within the historic Lakes section. It is the intent of this project to develop a style that is a good representation of contemporary architecture within the Historic Lakes area. The existing style was completed by an Architectural firm in Boca Raton. The new proposal has been designed by a local Hollywood Architecture firm with both principals living in the lakes for about a decade.

The design guidelines note the importance of Hollywood's varied styles. Because the adjacent house several houses to the west, 1112 South Northlake Drive, is in a contemporary style, it was important to have varying elements to distinguish the residence from the neighbors while preserving the defining characteristics of the contemporary vision. For example the project proposes wood grain veneers with stone veneers to have a bit of warmth in varying materials while distinguishing the façade from the contemporary neighbor on the same street. The architecture firm that completed 112 South Northlake Drive was Arch Avenue also a local Hollywood firm.

Design

The current residence is not historically significant. In addition, it is not a good representation of Mediterranean Architecture completed by a Boca Raton firm. In addition, the driveway has excessive paving with no green area near the houses edge. When driving by the house because the driveway is on the garage side, the garage door is the main view from the street and the rest of the house is seen very little. The front door is not seen at all.

The proposal maintains the integrity of contemporary designs within the Lakes. The new proposal will maintain the existing front side and rear setbacks and open space. The new landscape design will be refined and natural to the architectural setting. It is important to note that while the front driveway is being shifted to be centered with the house entry, the width of the curb cut will be reduced and the pervious area in the front yard will be increased for more grass and landscaping. A driveway of stone pavers with grass in between is proposed in order to achieve additional drainage. A new fountain at the entry with a low stone wall and planters is proposed. The existing low wall at the front will be modified to allow for the shift in the driveway and new stone planters will be added.

Solid picture windows are proposed and will be primarily divided in three parts and the frame and glass will match the existing home.

The existing massing or structure will be maintained. Only a small entry feature will be added and increase the air-conditioned space by 81 square feet at the location of the front door and covered area at the front door shall be increased by 49 square feet. .

The entrance has been emphasized by massing and scale in addition to wood veneers that will be constructed with a green material that is waterproof and rot proof called Resysta.

Setting

The adjacent house is also Mediterranean style with similar detailing including the same type of roof and color. The varied style of the Lakes can be emphasized with a different style house within this lot.

The site and proposed landscaping will accentuate the architecture. The project maintains privacy to the public street. The project does not change any setbacks or impose on neighbors' views of the lake. The architectural style is within the architectural language found in many other contemporary homes in the lakes including but not limited to 1112 South Northlake Drive, 1050 North Southlake Drive, 949 South Southlake Drive, and 934 South Southlake Drive.

Materials

The exterior block walls will be in a light textured stucco. Various exterior elements will be veneered in keystone, which will be in natural light cream tones in a varied pattern. Elements at the front entry including the ceiling of the entry feature, the front door, the cantilever above the front door and the garage door will be veneered in a simulated wood such as Resysta.

Exterior windows will be replaced with code compliant hurricane impact windows to match existing window frame and glass. The existing wall and gate at the front property line will be streamlined. Columns will be eliminated and a decorative planter veneered in keystone will be added at the vehicular entry.

The roof of the garage will be removed and replaced with a new flat roof with roof drains and a parapet. The roof tile above the dining room to the right will be removed and a new flat roof will be wrapped around the existing slopped roof and overhang. The trusses on the east side of this roof will be cut at the overhang to be flush with the block.

The rotunda will be removed and a new entry feature will be built with a flat roof and a deep foundation of piles.

The roof overhang on the upper second floor will be wrapped with new trusses at the edge and a parapet and drains will be created. The existing "s" tile roof will be painted.

Workmanship

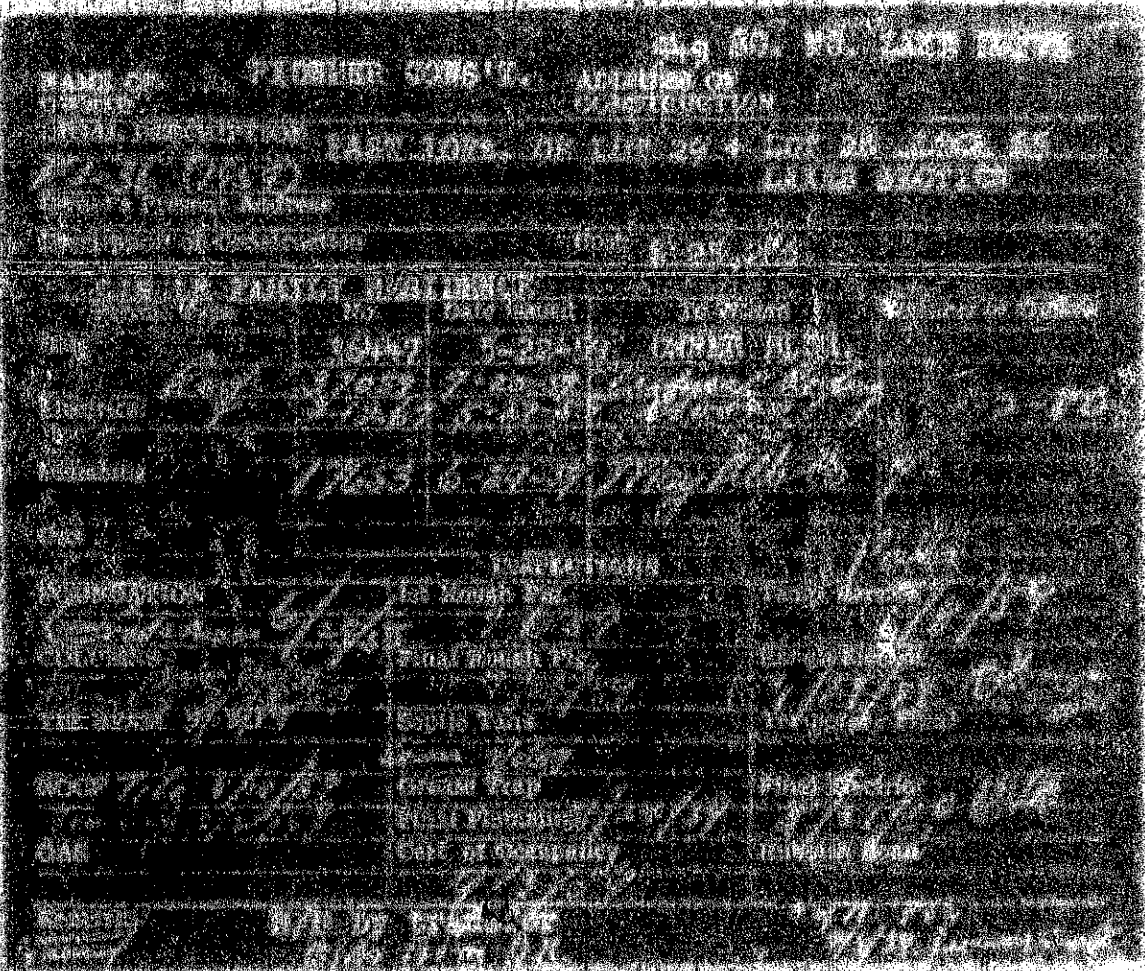
This project proposes to comply with the current building code including, but not limited to exterior windows and doors, roof, electric, structural, finished floor elevation, and landscape. The highest quality materials and installation will be used. Most importantly, this project is based on Superior Design in that green technologies will be utilized wherever possible including but, not limited to, upgraded windows, green wood products, insulation, energy efficient lighting, and low v.o.c. paints.

Association

The project does not change any setbacks or impose on neighbors' views to the lake. The project compliments the adjacent homes and adds value to the neighborhood. The design guidelines note the importance of Hollywood's varied styles. Because the adjacent house to the west is also contemporary with similar architectural language, it was important to add some varying materials to distinguish the elements from the neighbors while preserving the defining characteristics of the style. For example, the project proposes wood grain veneer color with stone veneer unlike 1112 South Northlake (immediately to the west).

The footprint of the house will remain relative to the front elevation and its relationship to the property. The new landscape design will be refined and natural to the architectural setting.

IN 1942
PART 1 OF 1942



JOB CARD

JOB ADDRESS

100 South Main Street

100

100

100

100

OWNER: **DAVID SWINSON MAYOR** JOB ADDRESS: **344 South Mortlake Drive**
 LOT NUMBER: **28 1/2** BLOCK: **65** SUBDIVISION OR MAP: **Hollywood Lakes**
 REFERENCE TO PLAN OR E.C. NO.: **29**
 ARCHITECT: **J. S. [unclear]** FEE: **\$ 13.00** VENDOR: **\$ 750.00**

DESCRIPTION OF CHANGES: **Enlarge porch to enlarge bath**

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
REPAIRS	723	6-28-77	Tom Tribiano	SEPTIC/PAVE			
ROOF				AIR/CONDITION			
TEXTILE DRUGS	19197	8-5-77	R. Taylor	Mechanical			
ELECTRIC SUPP.				SCREEN			
PLUMBING	100691	7-15-77	David J. [unclear]	POOL			
L.P. GAS WALK				DRIVEWAY	42638	8-19-77	[unclear]
FENCE				ATLG. OF MARK			

NOTES:

root file

DATE: 10/19/66

35/66 sinkli REg

NEW BUILT

REPAIRS

SCREEN

PAINT

PLUMBING

ELECTRICAL

ROOFING

total: county surcharge \$1.00

Select a Service

Select an Agency

Search Results

Search > Properties located at/on/near '...949...'

**39 permits were found for
949 S NORTHLAKE DR**

View	Process #	Permit #	Description	Appl. Date	Permit Date
Details	15252	B0105417	ADDITION	4/23/2001	8/31/2001
Details	30320	B0201637	ROOFING - NEW - TILE	4/23/2001	3/25/2002
Details	52499	B0303826	DRIVEWAY	4/23/2001	7/15/2003
Details	73879	B0404072	FENCE-CHAIN LINK &/OR WOOD	7/16/2004	7/16/2004
Details		B09-101131	BOAT DAVITS	3/27/2009	4/14/2009
Details		B10-101335	ADDITION	3/29/2010	6/25/2010
Details		B10-101971	POOL - RESIDENTIAL	5/10/2010	10/21/2010
Details		B10-103999	ROOFING - NEW - TILE	9/24/2010	9/24/2010
Details		B12-100762	PILING	2/28/2012	
Details		B9103573	FUMIGATION		6/3/1991
Details		B9104635	ALTERATIONS-INTERIOR		7/9/1991
Details		B9304017	FENCE-WOOD,CHAIN LINK,ETC.		6/14/1993
Details		B9304601	DRIVEWAY		7/8/1993
Details	27635	E0200218	ELECTRICAL WORK	4/23/2001	1/29/2002
Details	27803	E0200262	ANTENNAE-SATELLITE DISH-ELECTRICAL	4/23/2001	2/1/2002
Details	27802	E0200263	TELEPHONE SYSTEM	4/23/2001	2/1/2002
Details		E0200264	TEMP POWER(FOR CONSTRUCTION)		2/1/2002
Details	39141	E0202718	LOW VOLTAGE BURGLAR ALARM	4/23/2001	9/24/2002
Details		E09-100451	ELECTRICAL WORK	8/4/2009	
Details		E09-100726	ELECTRICAL WORK	5/20/2009	6/2/2009
Details		E10-100657	ELECTRICAL WORK	7/2/2010	7/6/2010
Details		E10-100658	LOW VOLTAGE (VOICE/TELEPHONE)	6/25/2010	6/29/2010
Details		E10-100920	ELECTRICAL WORK	11/1/2010	11/1/2010
Details		E10-100921	LOW VOLTAGE (POOL ALARM SYSTEM)		
Details		E9101610	ELECTRICAL WORK		7/10/1991
Details		E9703375	ALARM - RESIDENTIAL - CENTRAL - AUDIBLE		8/13/1997
Details	28400	M0200181	A/C - CENTRAL - NEW	4/23/2001	2/12/2002
Details	31336	M0200451	MECHANICAL WORK	4/23/2001	4/16/2002
Details		M10-100492	A/C DUCTS (NEW)	6/25/2010	6/29/2010
Details		M9100987	MECHANICAL WORK		7/10/1991
Details	27188	P0200141	PLUMBING WORK	1/16/2002	1/31/2002
Details	38604	P0201284	GAS PIPING	4/23/2001	9/10/2002
Details		P10-100481	PLUMBING WORK	6/25/2010	6/29/2010

Details	P10-100645	POOL HEATER, PIPING & FILTER EQUIPMENT	10/21/2010	10/21/2010
Details	P10-100646	GAS PIPING	11/15/2011	
Details	P10-101414	GAS PIPING	10/21/2010	10/21/2010
Details	P9100667	PLUMBING WORK		7/10/1991
Details	P9100709	GAS PIPING		7/22/1991
Details	P9800481	POOL HEATER		3/18/1998

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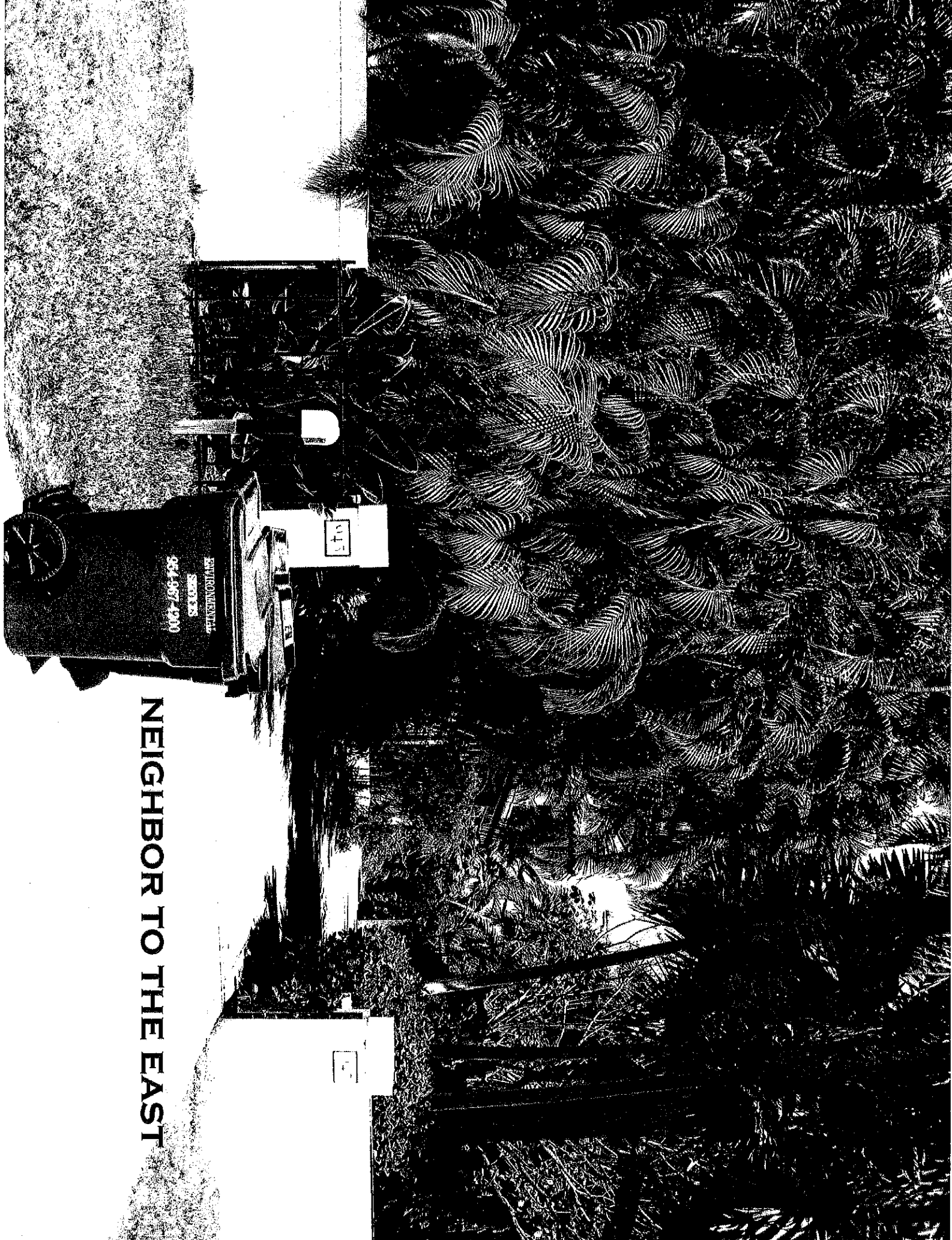
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2600 Hollywood Boulevard, Hollywood, Florida 33020-4807
P. O. Box 229045, Hollywood, Florida 33022-9045

HOUSE IN THE VIEW OF PROPOSED PROPERTY

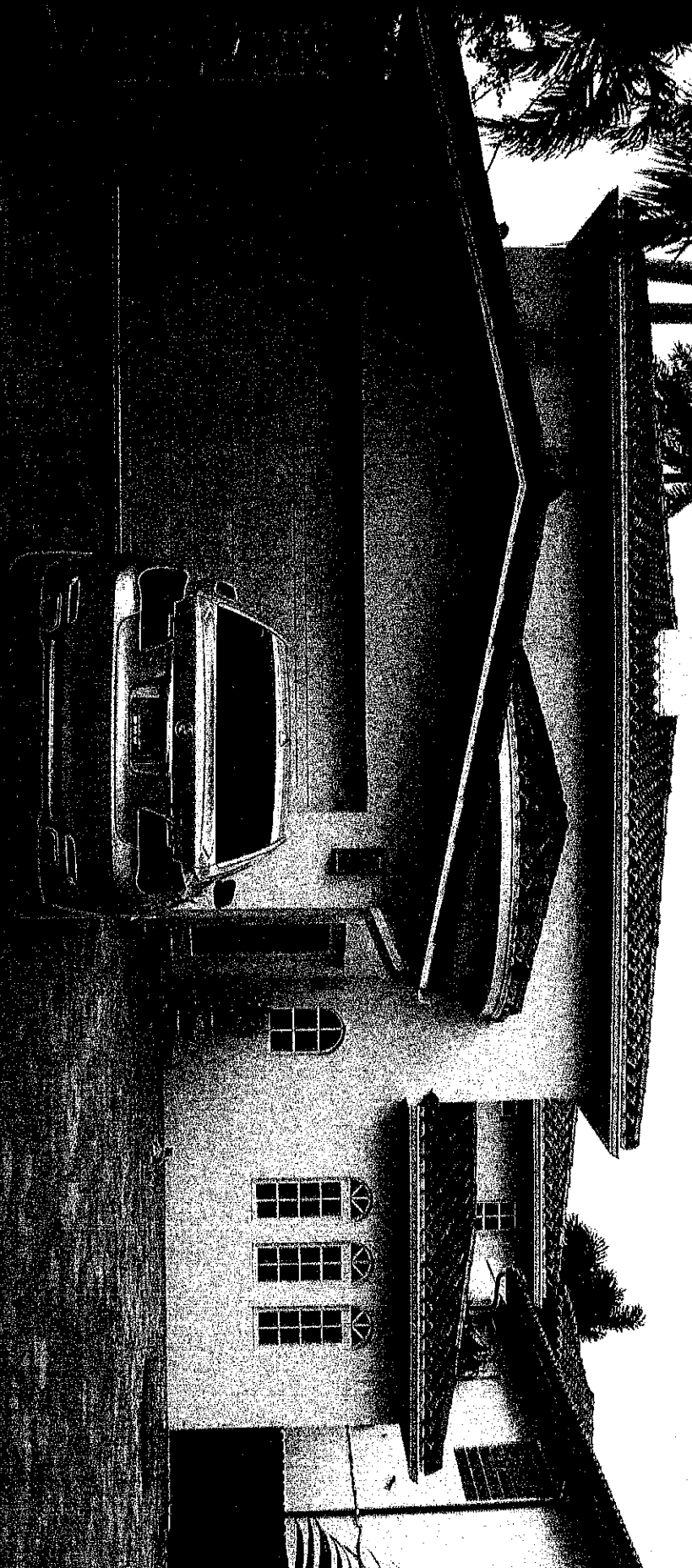
KEEP OFF
THE GRASS



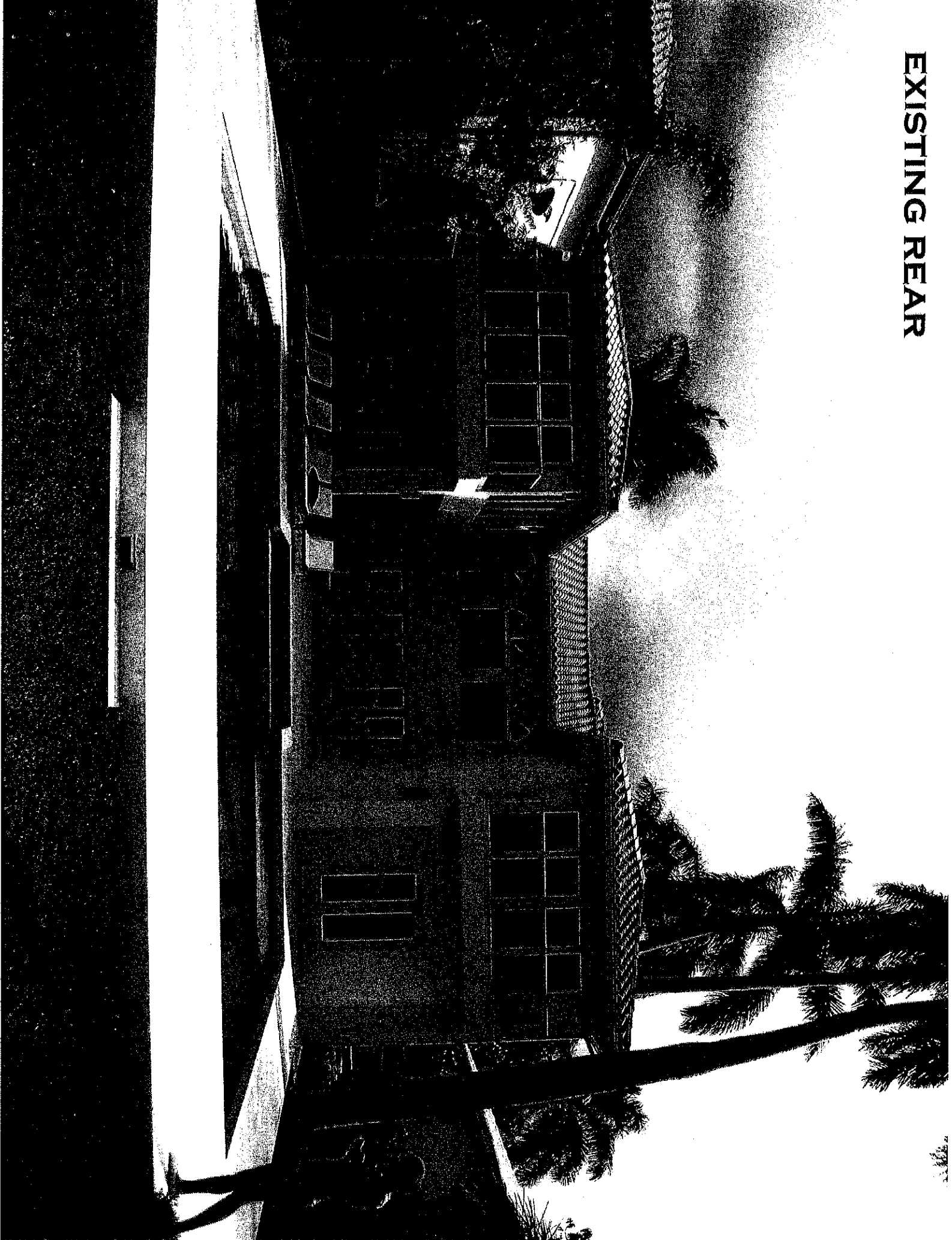


NEIGHBOR TO THE EAST

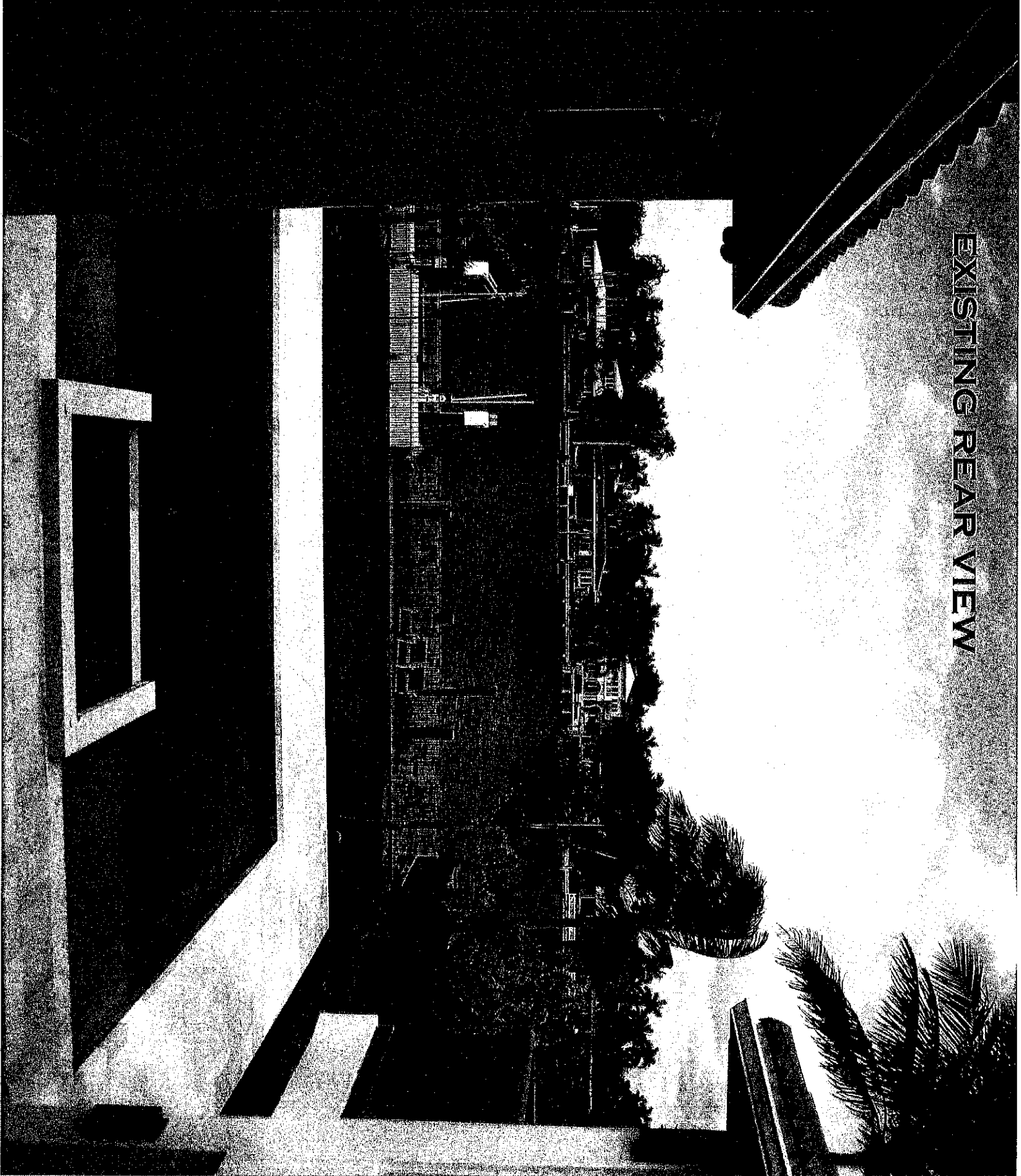
EXISTING HOUSE



EXISTING REAR



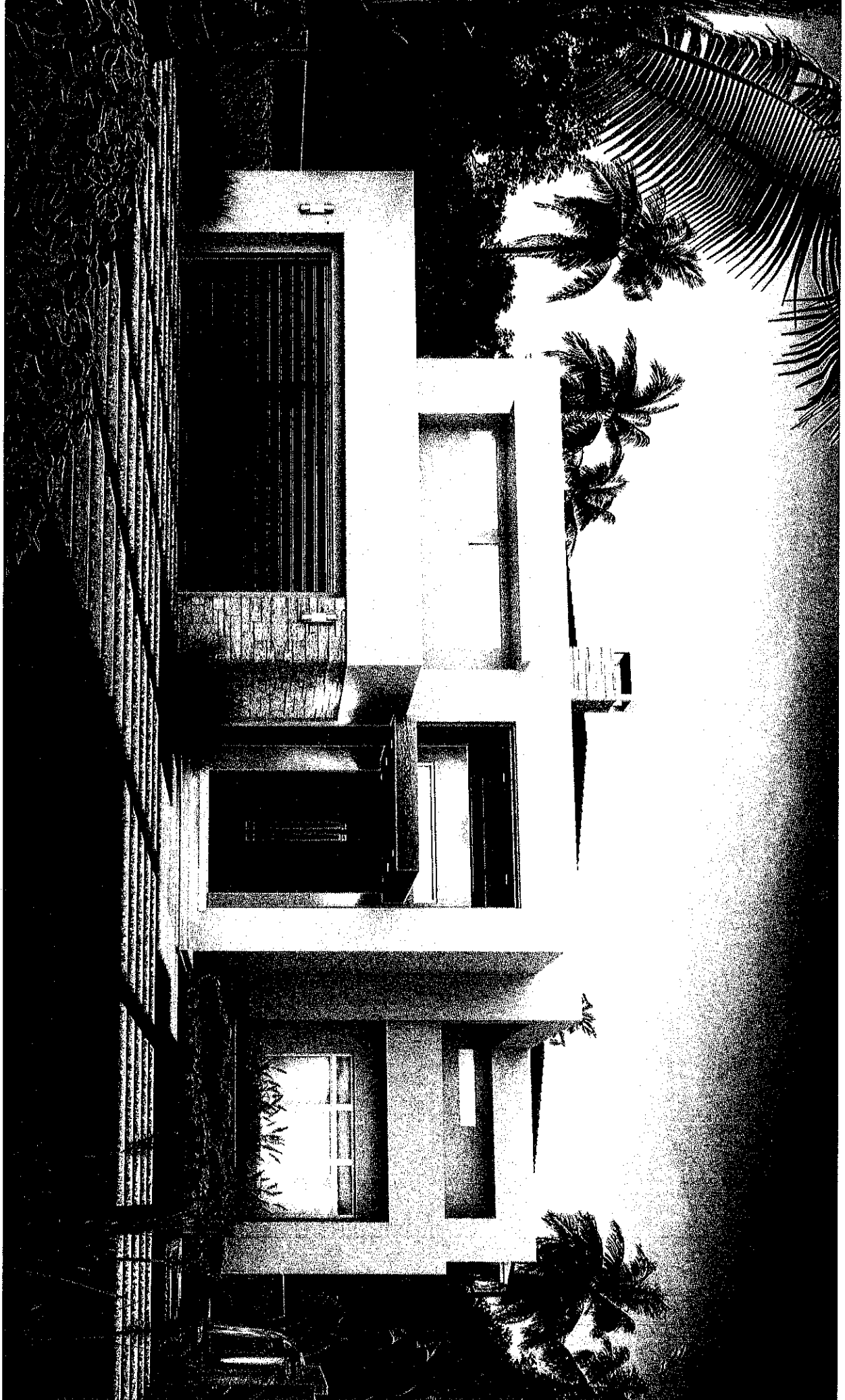
EXISTING REAR VIEW



EXISTING FRONT DRIVEWAY



949







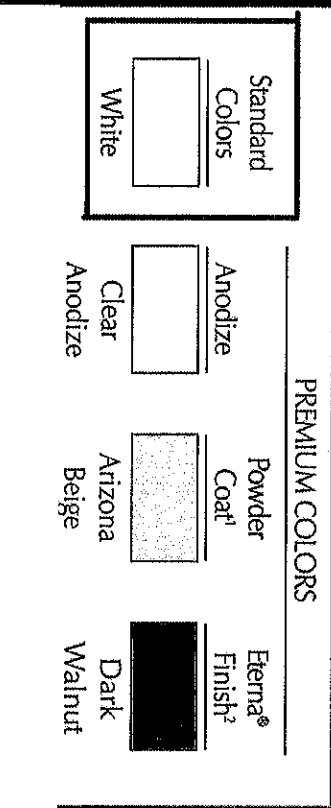
WINDOW FRAME: WHITE

WINDOW PRODUCT: PGT INDUSTRIES (TO MATCH EXISTING)

Custom-made WinGuard® Impact-Resistant Windows and Doors offer a wide variety of design options to enhance the style, beauty and comfort of your home. And our aluminum frames provide low-maintenance, long-lasting beauty.

FRAME COLORS Custom Colors Available

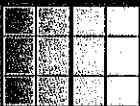
1 Powder Coat
Only available on SCD770
and SCD780



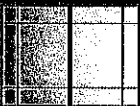
WINDOW AND DOOR STYLES

- Single Hung Windows
- Horizontal Roller Windows
- Casement Windows
- Picture Windows/
Fixed Life Architectural Windows
- Sliding Glass Doors
- Corner Meet Sliding Glass Doors
- French Doors

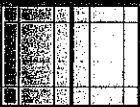
DESIGN OPTIONS



COLONIAL



BRITTANY 6-LITE



BRITTANY 9-LITE
(CUSTOM)

Muntin styles depicted are on a Single Hung Window. Muntins will vary depending on the window style and size.

Ogee Muntins
See individual product pages for type and configuration.

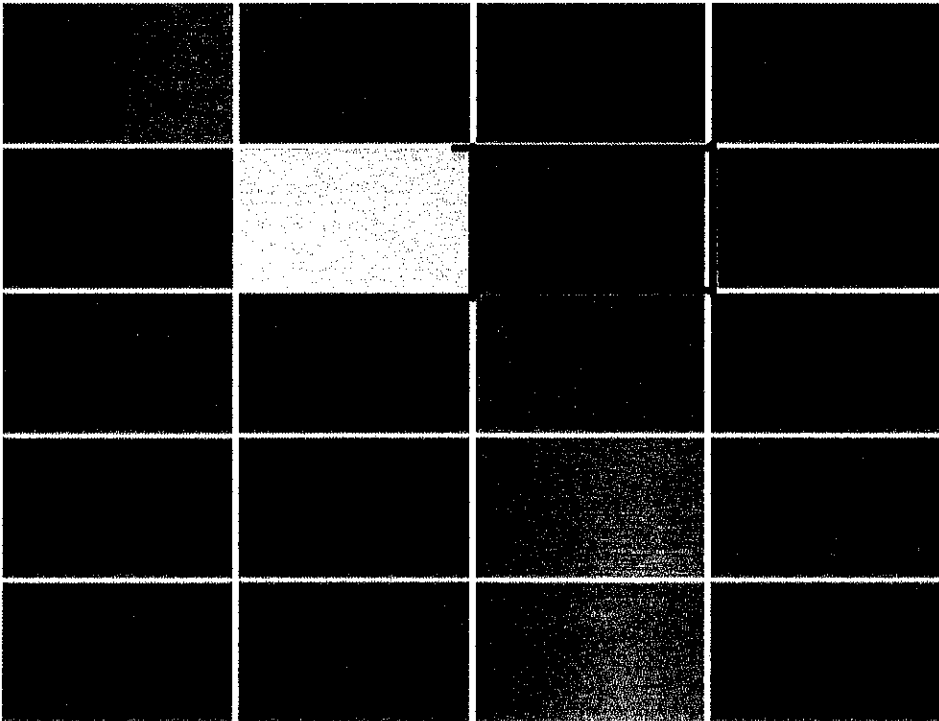
GLASS OPTIONS

- Impact-resistant laminated glass standard
- Laminated insulating glass optional

GLASS TINTS

- Clear
- Gray
- Green
- Bronze
- Obscure (Textured glass for enhanced privacy)
- Low-E (IG only)
- AZURLITE®
- SOLARCOOL®
- White Interlayer (Opaque interlayer for enhanced privacy)

WOOD CLADDING: RESYSTA

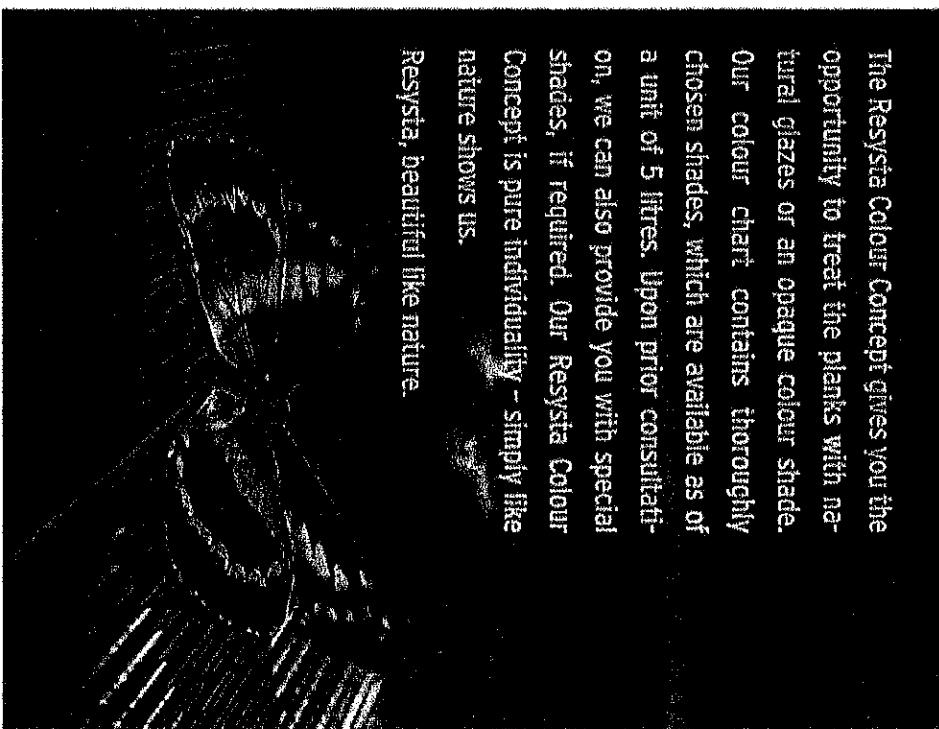


Resysta[®]
THE BETTER WOOD

www.resysta.com

The Resysta Colour Concept gives you the opportunity to treat the planks with natural glazes or an opaque colour shade. Our colour chart contains thoroughly chosen shades, which are available as of a unit of 5 litres. Upon prior consultation, we can also provide you with special shades, if required. Our Resysta Colour Concept is pure individuality – simply like nature shows us.

Resysta, beautiful like nature.





Resysta®
THE BETTER WOOD

FACADE

INDIVIDUAL AND LIMITLESS

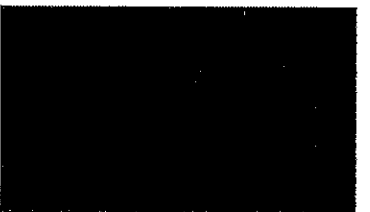
15 YEARS
GUARANTEE

- no swelling
- no cracking
- no splintering
- no rotting

Resysta®
THE BETTER WOOD

..... 100% wood-free, water-resistant, weather-proof, dimensionally stable

WOOD CLADDING



STONE VENEER



SW7002 DOWNY

Interior

COLLECTION:

SW Color

COLOR FAMILIES:

Whites

RGB VALUE

R: 238

G: 232

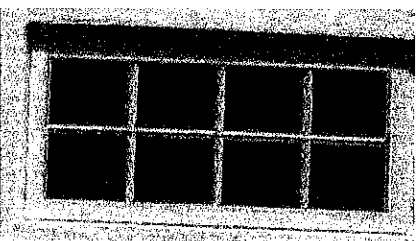
B: 221

HEX VALUE

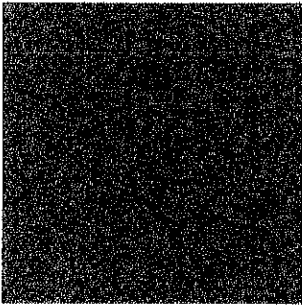
#EEE8DD

STUCCO SHERWIN WILLIAMS

WINDOWS PGT WHITE FRAME TO MATCH EXISTING



COLOR DETAILS



SW7633 TAUPE TONE

Interior/Exterior

COLLECTION:

Concepts in Color

COLOR FAMILIES:

Cool Neutrals

RGB VALUE

R: 173

G: 161

B: 146

HEX VALUE

#ADA192

STORES NEAR YOU

1280 N Flagler Ave

Homestead, FL 33030

(305)247-5830

15665 SW 88th St

Miami, FL 33196-1103

(305)383-3088

19720 S Dixie Hwy

Cutler Bay, FL 33157-7612

(305)232-3548

NOTES:

We can also be reached by phone at:

1-800-4-SHERWIN (1-800-474-3794)



Kodner Residence



ARTIST CONCEPT

ARCHITECT IN - SITE DESIGN GROUP, INC.

1609 RODMAN STREET, HOLLYWOOD, FLORIDA 33020 (954) 921-5333 (954) 635-7483 AA26001758

STRUCTURAL ENGINEER

SPECIALTY ENGINEERING CONSULTANTS, INC.

1599 SW 30 AVENUE SUITE 20 BOYNTON BEACH FLORIDA 33426 561-843-9110 GARY MC DOUGLE, P.E. 009217

MECHANICAL ELECTRICAL & PLUMBING ENGINEER

E&E CONSULTING ENGINEERS, LLC

1400 EAST OAKLAND PARK BLVD SUITE 108 FORT LAUDERDALE, FL 33334 954-566-9708 EUGENIO BRQUJAGA 15387

LANDSCAPE ARCHITECT

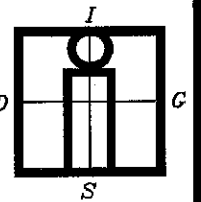
KIM MOYER, A.S.L.A.

4808 NE 16 AVENUE OAKLAND PARK, FL 33334 954-892-9609 KIM MOYER LA0000952

CIVIL ENGINEER

GATOR ENGINEERING CONSULTANTS, P.A.

10620 GRIFFEN ROAD, COOPER CITY, FL 33228 954-704-8600 305-632-5433



IN-SITE DESIGN GROUP INC

1609 RODMAN STREET
HOLLYWOOD, FLORIDA 33020
AA26001758
954 921 5333
FAX 954 921 8789
PROJECT COORDINATOR:
ANNIE GARRUTHERS
CGC 1611058
ARCHITECT
SAMUEL R. UCCELLO

SEAL

STATE OF FLORIDA LICENSE NO. AR-0016997

THESE DESIGN AND DRAWINGS ARE THE
COURTESY PROPERTY OF IN-SITE DESIGN
GROUP, INC. AND NOT TO BE REPRODUCED
EXCEPT WITH WRITTEN CONSENT OF
THE COMPANY. THE CONTRACTOR MUST CHECK
AND VERIFY ALL DIMENSIONS OF THE JOB AND
BE RESPONSIBLE FOR ANY REPORTING ANY
DISCREPANCIES TO THE ARCHITECT BEFORE
COMMENCEMENT OF WORK. DRAWING AGENCY
TO BE AVOID.

PROJECT:
KODNER RESIDENCE

ADDRESS:
949 SOUTH NORTH LAKE DRIVE
HOLLYWOOD, FL 33019

DISTRIBUTION
MARCH-15-2012
DESIGN DEVELOPMENT
APPROVAL
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REVISIONS

INDEX

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16	NEW SECOND FLOOR PLAN		
17	NEW REAR PLAN		

PROJECT DATA

PROJECT: SINGLE FAM RESIDENCE RENOVATION/ADDITION AREA (BUILDING) TABULATIONS

OWNER	MIR AND MRS RUSSELL KODNER 949 SOUTH NORTH LAKE DRIVE, HOLLYWOOD, FL 33020
TAX FOLIO NUMBER	8142-14-01-1040
CONSTRUCTION	TYPE VS - NEW RESIDENCE RENOVATION
HEIGHT (TO TOP OF ROOF)	23'-0"
OCCUPANCY TYPE	R-3
NET LOT AREA (TO NET FACE OF SEA WALL)	62'-0" X 252'-0" = 15,828 SF
CONSTRUCTION	NEW ADDITION AND EXTERIOR RENOVATION
PROJECT DESCRIPTION	120 SF ADDITION TO EXISTING RESIDENCE AND RENOVATION TO THE EXTERIOR AT FRONT FACADE, 4,642 SQFT.
EXISTING RESIDENCE A/C	4,642 SQFT.
TOTAL SPACE TO BE ADDED	81 A/C - 0 SF TO BE REMOVED + 49 SF AIR CONDITIONED = 130 SF
TOTAL SPACE TO BE REMOVED	0 SF AIR CONDITIONED
NEW TOTAL AIR CONDITIONED SPACE	4,723 SF EXISTING AND NEW
PERCENTAGE OF ALTERATION TO AGGREGATE AREA OF BLDG	2.8% OF EXISTING LEVEL 2 ALTERATION - FBC EXISTING BUILDINGS 403
PERCENTAGE NEW TO EXISTING TO BE ADDED	130 SF NEW A/C / 4,642 EXISTING A/C = 2.8%
ESTIMATED CONSTRUCTION COST	SEE APPLICATION

ZONING

ZONING DISTRICT	R RESIDENTIAL
FEMA FLOOD ZONE	ZONE AE
PROPOSED FINISHED FLOOR OF ROAD	1'-1" 1/8" N.G.V.D. OR 18" ABOVE CROWN

	EXISTING	PROPOSED	8F ADDED
1ST FLOOR A/C SPACE	2,683 SF	2,764 SF	81 SF
2ND FLOOR A/C SPACE	1,958 SF	1,958 SF	0 SF
GARAGE	811 SF	811 SF	0 SF
COVERED AREA 1ST FL.	359 SF	407 SF	49 SF
COVERED AREA 2ND FL.	0 SF	0 SF	0 SF
TOTAL SPACE	5,511 SF	5,641 SF	130 SF

	EXISTING	PROPOSED	% OF SITE
LOT COVERAGE (BLDG FOOTPRINT)	3,200 SF	3,281 SF	23.31%
TERRACES FIRST FLOOR	559 SF	407 SF	2.52%
PAVERED DRIVEWAY/POOL	3,241 SF	3,188 SF	20.17%
LANDSCAPING/PREVIOUS AREA	4,315 SF	5,174 SF	32.74%
NET LAND AREA (NOT INCL STREET)	15,828 SF	15,828 SF	100%

	EXISTING	PROPOSED
GROSS LOT AREA	15,828 SF	
NET LOT AREA	13,210 SF	
EXISTING PERVIOUS	4,315 SF	
PROPOSED PERVIOUS		5,174 SF
FAIR MAX REQUIRED	NO MAX	6.5%
LOT COVERAGE MAX REQUIRED	NO MAX	31.5%
LOT COVERAGE PROVIDED		3,281 SF
		23.31%

SETBACKS

	EXISTING SETBACK	PROPOSED
FRONT (BOTH)	8'-3"	8'-3"
SIDE-EAST	7'-0"	7'-0"
SIDE-WEST	4'-6"	4'-6"
REAR-NORTH	8'-3"	8'-3"
BUILDING HEIGHT FROM PP.	23'-0"	23'-0"

LEGAL DESCRIPTION

HOLLYWOOD LAKES BECT 1-32 S LOT 28, BEE 10 BLK 68 ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1 AT PAGE 30 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SEE SURVEY FOR FULL LEGAL DESCRIPTION.

ANY APPLICABLE RESOLUTION

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE OTHER ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. APPLICANTS WILL COMPLY WITH ANY APPLICABLE CITY ORDINANCE INCLUDING PERMIT APPLICATION, REVIEW AND APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

APPLICABLE CODES

ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING CODES (TYP):
THE FLORIDA BUILDING CODE 2010 EDITION, FLORIDA BUILDING CODE RESIDENTIAL 2010

FBC COMPLIANCE SHALL INCLUDE HIGH VELOCITY HURRICANE ZONE FBC CHAPTER 44

AND FBC RESIDENTIAL CHAPTER 9
NFA 101, LIFE SAFETY CODE
ULTIMATE DESIGN WIND SPEED (MPH) 110 PER TABLE R301(1)(4)
NOMINAL DESIGN WIND SPEED (MPH) 93 PER CONVERSION TABLE R301(1)(5)
EXPOSURE C
APPLICABLE HOMEOWNERS ASSOCIATION DESIGN GUIDELINES, REGULATIONS AND HOMEOWNER BY LAWS

SITE PLAN NOTES:

- REFER TO THE RECORDED PLAT FOR INFORMATION RELATED TO THIS PROPERTY.
- REFER TO LEGAL DESCRIPTION FOR SITE GEOMETRY, BOUNDARIES, ELEVATIONS AND LOCATION OF EXISTING STRUCTURES.
- FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK IF ANY DISCREPANCY ARISES PLEASE NOTIFY THE ARCHITECT IMMEDIATELY AND PRIOR TO COMMENCEMENT OR CONTINUATION WITH THE WORK IN QUESTION.

UNDER NO CIRCUMSTANCES SHALL ANY PART OF THE MAIN STRUCTURE BE CONSTRUCTED WITHIN THE SETBACKS. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR POTENTIAL ENCROACHMENTS. IN-SITE DESIGN GROUP AND/OR ARCHITECT MAKE NO REPRESENTATIONS OR GUARANTEES AS TO INFORMATION REFLECTED HEREON PERTAINING TO THE LOCATION OF STRUCTURES, DIMENSIONS OF PROPERTY, SETBACK LINES, RIGHT OF WAYS AND EASEMENTS. SUCH INFORMATION INCLUDING SETBACKS SHALL BE VERIFIED BY THE SURVEYOR AND THE CONTRACTOR.

SITE TO BE FILLED IN ACCORDANCE WITH THE PALM BEACH COUNTY FLOOD CRITERIA ELEVATION AND/OR FEMA FLOOD CRITERIA OR AN ELEVATION NOT LESS THAN 18" ABOVE THE CROWN OF THE ROAD ELEVATION FRONTING THE PROPERTY. LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER ONTO ADJACENT PROPERTY.

CONTRACTOR TO PROVIDE COUNTY W/ CERTIFIED COMPACTION REPORT BEFORE INSPECTION AS PER FBC, R449(4)
A SPOT SURVEY IS REQUIRED SHOWING LOCATION AND ELEVATION OF SLAB

SOIL TREATMENT FOR PROTECTION AGAINST TERMITES SHALL BE SUBMITTED TO BUILDING DEPT. FROM A NATIONAL PEST CONTROL ASSOC. BEFORE CONCRETE CAN BE POURED. SEE FBC, R310 TERMITES PEST CONTROL TO COMPLY W/FBC, SECT 106.10

SOIL STATEMENT

A COMPLETE GEOTECHNICAL EVALUATION HAS BEEN COMPLETED BY SPECIALTY ENGINEERING AND TESTING INC FOR THIS SITE. A COPY OF THE REPORT SHALL BE SUBMITTED WITH THESE DOCUMENTS.

LANDSCAPE NOTES:

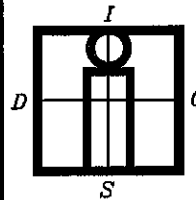
LANDSCAPING SHALL COMPLY WITH CITY OF HOLLYWOOD WDR BECT 1000. SEE LANDSCAPE PLAN FOR DTLS. ALL HIGH EQUIPMENT TO BE HIDDEN BY 8'-10" 20% OF TREES TO BE SHADE TREES.

PROVIDE A MINIMUM OF ONE TREE OR PALM PER 1,000 SQUARE FEET OF NET LOT AREA OR PORTION OF LOT. TREES TO BE CLASS 'C' OR BETTER IN GOOD CONDITION AND A MINIMUM OF 10' TALL WHEN INSTALLED. INSTALLED PALMS AND TREES SHALL HAVE A MINIMUM OF 3" CLEAR TRUNK AT PLANTING. ANY OTHER TREE REMOVAL REQUIRES SEPARATE PERMIT. TREE LOCATION TO BE APPROVED IN FIELD PRIOR TO INSTALLATION.

ALL LANDSCAPED AREAS TO BE COVERED WITH 600 OR GROUND COVER. PLANTED AREAS TO BE MULCHED W/ ORGANIC MULCH. DECORATIVE STONE, ROCK OR GRAVEL MAY BE USED UP TO

COVER

Date Of Issue
MARCH-15-2012



**IN-SITE
DESIGN
GROUP INC**

1809 RODMAN STREET
HOLLYWOOD, FLORIDA 33020
AA26001758
954 921 5333
FAX 954 921 6768
PROJECT COORDINATOR:
ANNIE CARRUTHERS
CGC 151058
ARCHITECT
SAMUEL R. UCCELLO

SEAL
STATE OF FLORIDA LICENSE NO. 94-264897

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GROUP, INC. AND THEY MAY BE REPRODUCED
WITHOUT THE WRITTEN CONSENT OF
THE COMPANY. THE CONTRACTOR MUST CHECK
AND VERIFY ALL DIMENSIONS OF THE JOB AND
BE RESPONSIBLE FOR ANY ERRORS OR
OMISSIONS TO HIS ANALYSIS BEFORE
CONSTRUCTION OF WORK. DRAWINGS ARE NOT
TO BE SCALED.

PROJECT:
KODNER RESIDENCE

ADDRESS:
849 SOUTH NORTH LAKE DRIVE
HOLLYWOOD, FL 33019

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MARCH-15-2012
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APPROVAL
MARCH-21-2012
HISTORIC BOARD
SUBMITTAL

REVISIONS

Date Of Issue
MARCH-15-2012

NOTES

AIR CONDITIONING	A/C		
AIR HANDLING UNIT	A/HU		
ALTERNATE	ALT.		
ALUMINUM	AL.		
ANCHOR BOLT	AB.		
ANGLE	ANG.		
AVERAGE	AVG.		
ABOVE FINISH FLOOR	AFF.		
BEAM	BM.		
BLOCKING	BLKG.		
BOARD	BD. / BRD.		
BOTTOM	BOT.		
BUILDING	BLDG.		
CABINET	CAB.		
CEILING	CLG.		
CEILING JOIST	CLG. JST.		
CEMENT	CEM.		
CENTER LINE	CL.		
CERAMIC TILE	CER. T.		
CHAMFER	CHAM.		
CHANNEL	CH.		
CLEAR	CLR.		
COMPOSITION	COMP.		
CONCRETE BLOCK	CONC. BLK.		
CONSTRUCTION GRADE	CONSTR. GR.		
CONTINUOUS	CONT.		
COLD WATER	C.W.		
CULTURED MARBLE	CULT. MAR.		
DETAIL	DTL.		
DIAMETER	DIA.		
DRAWING	DR.		
DOUBLE	DBL.		
DOUBLE PLATE	DBL. PL.		
DOOR	DR.		
DOWN	DN.		
DOWNPOUT	D.P.		
DRAINER	DIR.		
EACH	EA.		
ELEVATION	EL. ELEV./VEL.		
EQUAL	EQ.		
EXHAUST	EXH.		
EXPANSION JOINT	EXP. JT.		
EXTERIOR	EXT.		
ETC/ETC	ETC.		
FACE OF MASONRY	FO.M.		
FACE OF STUD	FO.S.		
FLORIDA BUILDING CODE	F.B.C.		
FINISH	FIN.		
FINISH FLOOR	FF.		
FINISH GRADE	FG.		
FLASHING	FLSHG.		
FLOOR	FLR.		
FLOOR DRAIN	FD.		
FLOOR JOIST	FLR. JST.		
FLOURESCENT	FLR.		
FOOTING	FTG.		
GALVANIZED	GALV.		
GRADE	GRD.		
GYP/SM BOARD	GYP/BO.		
HEADER	HDR.		
HEIGHT	HT. / HGT.		
WORK FINISH	WF.		
HOLLOW CORE	HC.		
INFORMATION	INFO.		
INSULATION	INSUL.		
INTERIOR	INT.		
LAMINATED PLASTIC	LAM. PLAS.		
LOUVER	LOUV.		
LUNING	LUN.		
LAVATORY	LAV.		
MACHINE BOLT	MB.		
MANUFACTURER	MFR.		
MATERIAL	MATL.		
MAXIMUM	MAX.		
M.C.	M.C.		
METAL	MTL.		
MINIMUM	MIN.		
OBSCURE	OBSC.		
OPPOSITE	OPP.		
ON CENTER	O.C.		
OVERHANG	OH.		
PAIR	PR.		
PENNY	P.		
PLATE	PL.		
PLYWOOD	PLY/WD.		
PROPERTY LINE	P.L.		
FOUNDS PER SQUARE INCH	P.S.I.		
PRESSURE TREATED	P.T.		
RADIUS	RAD.		
RAFTER	RAP.		
REQUIRED	REQD.		
REVISION	REV.		
REFRIGERATOR	RFR.		
RIBBER	R.		
ROOM	RD.		
ROUGH SAWN	RFS.		
ROUGH OPENING	RO.		
SELECT STRUCTURAL	SECT. STRUCT.		
SOLID CORE	SC.		
SHIELD AND FOLE	S & F		
SIMILAR	SIM.		
SLIDING GLASS DOOR	SL.GL.DR.		
SLOPING CEILING	SL.P. CLG.		
SPLASH	SPL.		
SHEATHING	SHG.		
SYNTHETIC MARBLE	SYN. MARBLE		
TEMPERED GLASS	TEMP. GL.		
TIE BEAM	T.B.		
TOP OF CURB	T.C.		
TREAD	T.		
TYPICAL	TYP.		
TONGUE AND GROOVE	T&G		
TOP OF PLATE	T.O.P.		
TOP OF BEAM	T.O.B.		
UNLESS NOTED OTHERWISE	UNL.		
VENT THRU ROOF	VTR.		
VENT TO OUTSIDE AIR	V.T.O.S.A.		
VERTICAL	VERT.		
VINYL COMPOSITION TILE	V.C.T.		
WARDROBE	WARD.		
WATER CLOSET	W.C.		
WATERPROOFING	W.P.		
WELDED WIRE MESH	W.W.M.		
WINDOW	WIND.		
WITH	W/		
WITHOUT	W/O		
WOOD	WD.		
WROUGHT IRON	W.I.		
WALK IN CLOSET	W.I.C.		

2 ABBREVIATIONS

MANUFACTURERS SUPPLIERS OR INSTALLERS OF THE FOLLOWING ITEMS SHALL SUBMIT DETAILED FABRICATION AND INSTALLATION DRAWINGS AND FOR PRODUCT LITERATURE TO THE ARCHITECT FOR THEIR RECORDS AND APPROVAL PRIOR TO THE FABRICATION OR INSTALLATION. DRAWINGS FOR ENGINEERED PRODUCTS OR PRODUCTS OF A STRUCTURAL SAFETY NATURE SHALL BEAR THE SEAL AND SIGNATURE OF A FLORIDA REGISTERED ENGINEER OR SHOW REFERENCE TO PRODUCT APPROVAL BY THE APPLICABLE AUTHORITY. IF THE ARCHITECT'S REVIEW OF SUCH DRAWINGS IS REQUESTED (CLIENT'S CONTRACT OPTION), THEY SHALL BE SUBMITTED IN REPRODUCIBLE FORM OR WITH FOUR COPIES. SUCH REVIEW IS SOLELY FOR COMPLIANCE WITH THE INFORMATION GIVEN IN THESE DOCUMENTS AND WITH THE INTENT OF THE DESIGN CONCEPT OF THE PROJECT. RESPONSIBILITY FOR THE ACCURACY AND COORDINATION WITH OTHER TRADES AS WELL AS THE PERFORMANCE OF THE PRODUCTS REMAINS SOLELY WITH THE MANUFACTURER AND/OR THE GENERAL CONTRACTOR AS APPLICABLE. REFER TO PERFORMANCE STANDARDS FOR PRODUCT APPROVAL/ COMPLIANCE. THE BUILDER/CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRUSS ENGINEERING PRIOR TO CONSTRUCTION.

SHOP DRAWINGS MUST BE REVIEWED BY THE DESIGNER OF RECORD PRIOR TO BLDG DEPT SUBMITTAL 196-6.1 OF THE ENCLAVARD ADMIN SECTION. SHOP DRAWINGS REQUIRE CITY REVIEW AND APPROVAL. THE FOLLOWING SHALL BE SUBMITTED FOR REVIEW AND APPROVAL AS APPLICABLE TO THIS PROJECT:

- | | |
|----------------------------------|---------------------------------|
| 1. STEEL REINFORCING | 11. WINDOWS, DOORS AND HARDWARE |
| 2. STRUCTURAL COLUMNS AND ACCESS | 12. FIREPLACES |
| 3. PRE-ENGINEERED TRUSSES | 13. PLUMBING FIXTURES |
| 4. WATERPROOFING MEMBRANES | 14. ELECT. EQUIP AND FIXTURES |
| 5. NAULATION | 15. APPLIANCES |
| 6. RAILINGS AND HANDRAILS | 16. FABRICATED STAIRS |
| 7. DECORATIVE MOLDINGS/TRIM | 17. IRON GATES/FINIALS AND |
| 8. BATHROOM ACCESSORIES | DECORATIVE FIXTURES |
| 9. CABINETS | |
| 10. AIR CONDITIONING EQUIPMENT | |

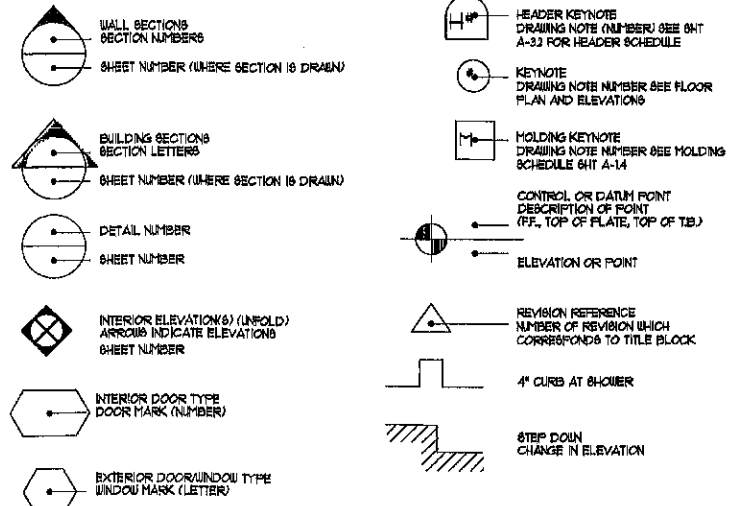
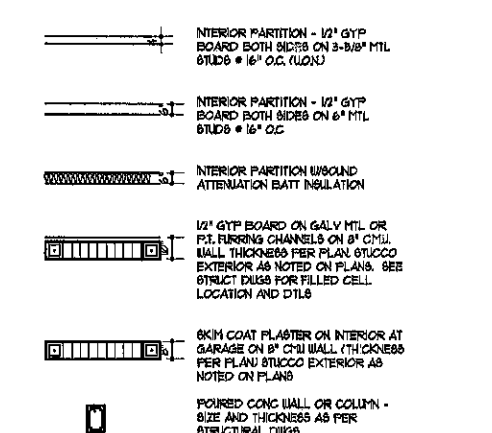
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL BUILDING CODES. PERMIT SHALL BE POSTED IN A VISIBLE PLACE AT ALL TIMES.
- ALL WORK, MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- ALL WORK FOR THIS PROJECT SHALL CONFORM TO STANDARDS PUBLISHED BY RECOGNIZED PROFESSIONALS AND INDUSTRY ORGANIZATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND FAMILIARIZING HIMSELF WITH ALL EXISTING CONDITIONS AFFECTING THE WORK, INCLUDING BUT NOT LIMITED TO PRIVATE AND PUBLIC UTILITIES, ON AND OFF SITE, ACCESS ROADS, WATERWAYS AND OTHER SUPPORT FACILITIES.
- CONTRACTOR TO VERIFY LOCATION OF ALL ELECTRICAL, WATER, GAS, SEPTIC TANK, OR ANY OTHER UTILITY LINES ENCOUNTERED DURING CONSTRUCTION.
- CONTRACTOR MUST NOTIFY ARCHITECT IMMEDIATELY OF ANY UNEXPECTED OR UNKNOWN CONDITIONS, DISCREPANCIES IN THE DRAWINGS AND CONTRACTOR DOCUMENTS, ANY ERRORS OR OMISSIONS ON THE DRAWINGS IN THE FIELD PRIOR TO PROCEEDING WITH WORK OR SHOP FABRICATION.
- CONTRACTOR SHALL NOTIFY ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL, MECHANICAL, STRUCTURAL, PLUMBING AND ELECTRICAL DRAWINGS. ANY DISCREPANCIES DISCOVERED AFTER BIDDING SHALL BE INTERPRETED AS IF IT WAS BID BASED ON THE MOST EXPENSIVE METHOD OF FINISH.
- CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW ALL THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS AND ISSUE ALL REQUESTS FOR INFORMATION (RFI) PRIOR TO THE AWARDS OF THE CONTRACT. ANY RFI ISSUED AFTER THE CONTRACTORS AWARDED CANNOT BE USED AS A BASE FOR A FINANCIAL OR THE DELAY CLAIM.
- CONTRACTOR TO OBTAIN WRITTEN APPROVAL FROM OWNER OR ARCHITECT PRIOR TO ANY CHANGES OR DEVIATION FROM CONTRACT DOCUMENTS.
- UNDER NO CIRCUMSTANCES WILL ASSUMPTIONS BY THE CONTRACTOR OR SUBCONTRACTOR BE CONSIDERED THE DESIGN INTENT OR APPROVAL OF THE ARCHITECT OR ENGINEER UNLESS THERE IS WRITTEN APPROVAL BY THEM.
- CONTRACTOR SHALL PREPARE AND MAINTAIN ALL CONSTRUCTION AREAS, AS WELL AS SURROUNDING AREAS FREE OF DEBRIS OR HAZARDOUS EQUIPMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR THE REPLACEMENT OF ANY EQUIPMENT DAMAGED DURING CONSTRUCTION OR CLEAN-UP. CONSTRUCTION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA. ALL OSHA REGULATIONS FOR CONSTRUCTION AREAS SHALL BE STRICTLY FOLLOWED.
- DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS SHALL BE FOLLOWED. CONTRACTOR SHALL CONTACT THE ARCHITECT FOR ANY CLARIFICATION OR DIMENSIONS REQUIRED AND ARE NOT PROVIDED IN THE CONTRACT DOCUMENTS.
- ALL DIMENSIONS ARE BASED ON NOMINAL SIZES OF MEMBERS AND ARE GIVEN TO THE OUTER FACE OF SUCH MEMBERS, NOT TO FACE OR FINISH MATERIAL UNLESS OTHERWISE NOTED ON DRAWINGS.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS OF CONSTRUCTION. ALL SHOP DRAWING DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY CONTRACTOR BEFORE SUBMITTAL. INCOMPLETE SHOP DRAWINGS OR LACKING SUFFICIENT INFORMATION WILL BE RETURNED WITHOUT REVIEW. SPECIALTY ENGINEERING SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER.
- THE CONTRACTOR SHALL BE AWARE THAT SPECIFIC FIRE RATED SEPARATION WITHIN THE BUILDINGS CONSTRUCTION ARE REQUIRED BY CODE. THE USE OF SPECIFIC MATERIALS AND COMBINATIONS OF MATERIALS WITHIN FIRE RATED ASSEMBLIES AS CALLED FOR ON THE DRAWINGS AND SPECIFICATIONS ARE FOR THE PURPOSE OF ACHIEVING THOSE REQUIRED FIRE SEPARATION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT THE CHANGE IN MATERIAL THAT ARE REQUESTED BY OR MADE BY THE CONTRACTOR AND/OR ITS SUBCONTRACTORS, FROM THOSE MATERIALS DRAWN OR SPECIFIED, DOES NOT IN ANY WAY AFFECT OR LESSEN THE REQUIRED FIRE RATED CONSTRUCTION OR ASSEMBLY.
- WHERE CMU IS INDICATED TO HAVE A SPECIFIC HOURLY FIRE RATING THIS SHALL BE TAKEN AS THE MINIMUM ALLOWED.
- ALL WOOD FRAMING INCLUDING PLYWOOD WHICH IS CONCEALED WITHIN WALLS OR CEILINGS OR USED FOR SUPPORT OF WALLS OR CEILINGS MUST BE FIRE RETARDANT, PRESSURE TREATED WOOD AND MUST BE USED WHERE IN CONTACT WITH CONCRETE OR MASONRY.
- ALL PIPING SHALL BE SLEEVED THROUGH SLABS. CONTRACTOR TO FULLY SEAL SPACE AROUND PIPES WITH A 2-HOUR UL APPROVED FIRE RESISTIVE THERMATEX™ GLASS FIBER SIPPINGS INSULATION AS MANUFACTURED BY U.S. GYPSUM CO. COMPLYING WITH ASTM E-119 OR APPROVED SIMILAR. PENETRATIONS THROUGH FIRE RATED WALLS OR FLOOR SYSTEM SHALL BE PROTECTED AS TO MAINTAIN THE FIRE RATING OR RATED WALL.
- ALL SHAFTS WHERE APPLICABLE TO BE 2-HOUR RATED WITHOUT EXCEPTION. UL DESIGN NO. U-869 OR APPROVED SIMILAR AND SHALL CONTINUE AS SUCH TO UNDERSIDE OF ROOF OR FLOOR STRUCTURAL DECKING.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ELECTRICAL BOXES WITH CABINET MANUFACTURER AND ELECTRICAL SUBCONTRACTOR.
- CONTRACTOR TO SUBMIT A MINIMUM OF FIVE (5) SETS OF COMPLETE SHOP DRAWINGS OR AS SUBSTITUTES FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS OF CONSTRUCTION. REVIEW BY ARCHITECT OR ENGINEER REQUIRED BY SUBMITTAL NOT EVALUATED AND APPROVED BY CONTRACTOR SHALL BE PAID FOR BY THE CONTRACTOR ON HOURLY RATES ESTABLISHED IN ARCHITECT CONTRACT FOR SERVICES FOR THE PROJECT.
- CONTRACTOR SHALL HAVE CONTRACTED ALL SUBCONTRACTORS AND VENDORS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL SHOP DRAWINGS SHALL BE SUBMITTED BY THE CONTRACTOR NO LATER THAN 30 DAYS AFTER THE START DATE OF CONSTRUCTION.
- CONTRACTOR TO FURNISH AND INSTALL ALL METAL AND WOOD BLOCKING REQUIRED FOR ALL WALL MOUNTED OR BRACED FIXTURES, MILLWORK, SHELVES, BATHROOM FIXTURES AND BATHROOM ACCESSORIES OR BY OTHER ITEMS DESCRIBED IN INTERIOR DESIGN AND ARCHITECTURAL DRAWINGS.
- CONTRACTOR TO PROVIDE CONTINUOUS WOOD BLOCKING AT ALL INTERIOR PARTITION FOR INSTALLATION OF BASE BOARDS. COORDINATION PLACEMENT HEIGHTS WITH LOCATION OF BASE BOARDS.
- FOR ALL BATHROOMS PROVIDE WOOD BLOCKING IN SHOWERS AND BEHIND TOILETS FOR GRAB BARS AS REQUIRED.
- IN ADDITION TO WALL TYPES SHOWN ON PLANS, THE CONTRACTOR SHALL REFER TO THE ROOF FINISH SCHEDULE, INTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL INFORMATION REGARDING FINISHES.
- CONTRACTOR SHALL COORDINATE WITH MECHANICAL AND ELECTRICAL CONTRACTORS THE LOCATION OF ALL ACCESS PANELS SO AS TO ALLOW FOR PROPER EQUIPMENT ACCESSIBILITY, MAINTENANCE AND/OR FOR PROPER OPERATION OF THE BUILDING SYSTEMS. THE OMISSION OF ANY OR ALL ACCESS PANELS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FROM PROVIDING AND INSTALLING SUCH PANELS OR DOORS.
- CONTRACTOR TO PROVIDE ACCESS PANELS FOR ALL A/C WIRE DAMPERS.
- CONTRACTOR SHALL PAINT ALL VISIBLE SURFACES OF FACTORY PRIMED OR FACTORY PAINT FINISHED EQUIPMENT, A/C GRILLS OR REGISTERS, COVERS ETC UNLESS SPECIFICALLY NOTED OTHERWISE VERIFY AND COORDINATE COLORS WITH INTERIOR DESIGNER, ARCHITECT OR OWNER.
- BEFORE INSTALLATION, THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT THE EXACT MOUNTING LOCATION OF ALL SWITCHES, WALL RECEPTACLES, PLUGS, THERMOSTATS AND OTHER WALL MOUNTED FIXTURES.
- ALL INTERIOR AND EXTERIOR JOINTS BETWEEN DISSIMILAR MATERIALS OR FINISHES SHALL RECEIVE A BEAD OF CAULKING TO MATCH COLOR OF ADJACENT SURFACE. COORDINATE COLORS WITH ARCHITECT OR OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND CONSTRUCTION MATERIAL FROM THE SITE. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROPERLY CLEANING ALL AREAS PRIOR TO FINAL ACCEPTANCE BY THE OWNER INCLUDING BUT NOT LIMITED TO WINDOWS, STOREFRONT, FLOORS, CARPETS, WALLS, DOORS ETC.
- UPON COMPLETION OF THIS PROJECT, THE GENERAL CONTRACTOR SHALL GIVE THE OWNER A COMPLETE SET OF "AS-BUILT" ARCHITECTURAL, MECHANICAL, ELECTRICAL AND FIRE PROTECTION DRAWINGS ALONG WITH THE WRITTEN GUARANTEE, OPERATION AND MAINTENANCE MANUALS OF ALL EQUIPMENT AND FINISHES INSTALLED. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT SET OF "AS-BUILT" DRAWINGS. INFORMATION SHALL BE RECORDED BY THE GENERAL CONTRACTOR AS CONSTRUCTION PROGRESSES. UPON FINAL COMPLETION OF THE PROJECT, THE GENERAL CONTRACTOR SHALL SUBMIT AN "AS-BUILT" SET OF DRAWINGS AND DOCUMENTS TO THE OWNER ALONG WITH AN AFFIDAVIT CERTIFYING THAT TO THE BEST OF HIS KNOWLEDGE AND BELIEF THESE "AS-BUILT" DRAWINGS AND DOCUMENTS WERE USED IN THE CONSTRUCTION OF THIS PROJECT AND REFLECT THE "AS-BUILT" CONDITION.
- THE CONTRACTOR AND ALL SUBCONTRACTORS AND SUPPLIERS SHALL GRANT TO THE OWNER/DEVELOPER AND INSTITUTIONAL MORTGAGEES, IMPLIED WARRANTIES OF FITNESS AS TO THE WORK PERFORMED OR MATERIALS SUPPLIED BY THEM AS FOLLOWS: A) FOR THE PERIOD OF FIVE YEARS FROM THE DATE OF COMPLETION OF A BUILDING OR IMPROVEMENTS WARRANTY AS TO THE MECHANICAL AND PLUMBING ELEMENTS, B) FOR A PERIOD OF THREE YEARS AFTER COMPLETION OF THE BUILDING OR IMPROVEMENTS A WARRANTY AS TO ALL OTHER IMPROVEMENTS AND MATERIALS AND C) AS TO THE PERSONAL PROPERTY A WARRANTY WHICH IS FOR THE SAME PERIOD AS THAT PROVIDED BY THE MANUFACTURER OF THE PROPERTY COMMENCING WITH THE DATE OF POSSESSION OF THE BUILDING.
- COMPLETION OF A BUILDING OR IMPROVEMENT MEANS FINAL COMPLETION OF CONSTRUCTION, FINISHING, AND EQUIPPING OF THE BUILDING OR IMPROVEMENT ACCORDING TO THE PLANS AND SPECIFICATIONS AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE ENTIRE BUILDING OR IMPROVEMENT OR THE EQUIVALENT AUTHORIZATION BY THE GOVERNMENTAL BODY HAVING JURISDICTION. THE WARRANTIES PROVIDED HEREIN SHALL INURE TO THE BENEFIT OF THE OWNER AND ITS SUCCESSOR TO THE BENEFIT OF THE OWNER/DEVELOPER AND TO THE BENEFIT OF THE INSTITUTIONAL MORTGAGEE.

GENERAL NOTES

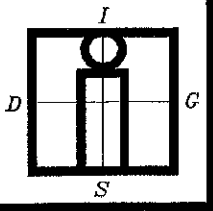
PRODUCTS AND THEIR INSTALLATION SPECIFIED IN THESE DOCUMENTS SHALL HAVE PRODUCT APPROVAL TO BE ACCORDING WITH THE STANDARDS OF QUALITY, PROTECTION AND PERFORMANCE OF AT LEAST THE FOLLOWING AGENCIES AS APPLICABLE:

- AMERICAN SOCIETY TESTING MATERIALS
- AMERICAN CONCRETE INSTITUTE
- AMERICAN FOREST & PAPER ASSOCIATION
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION
- AMERICAN WOODWORK INSTITUTE
- AMERICAN WOOD PRESERVATION BUREAU
- AMERICAN NATIONAL STANDARDS INSTITUTE
- ARCHITECTURAL ALUMINUM MANUFACTURERS ASSOCIATION
- (MIAMI) DADE PRODUCT APPROVAL
- FLORIDA BUILDING CODE
- GYPSUM ASSOCIATION
- LIFE SAFETY CODE
- NATIONAL EVALUATION SERVICE INC
- NATIONAL FIRE PROTECTION ASSOCIATION
- NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION
- OCCUPATIONAL SAFETY AND HEALTH ACT
- STEEL JOIST INSTITUTE
- TILE COUNCIL OF AMERICA
- UNDERWRITERS LABORATORIES
- WARNOCK HERSEY INTERNATIONAL

EXTERIOR WALLS SHOWN ARE DIMENSIONED TO EXTERIOR FACE OF MASONRY OR TO EXTERIOR FACE OF PLYWOOD SHEATHING. SEE 601 A-11 FOR ALL WALL TYPE DETAILS



NOTES



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PROJECT:
KODNER RESIDENCE

ADDRESS:
949 SOUTH NORTH LAKE DRIVE
HOLLYWOOD, FL 33019

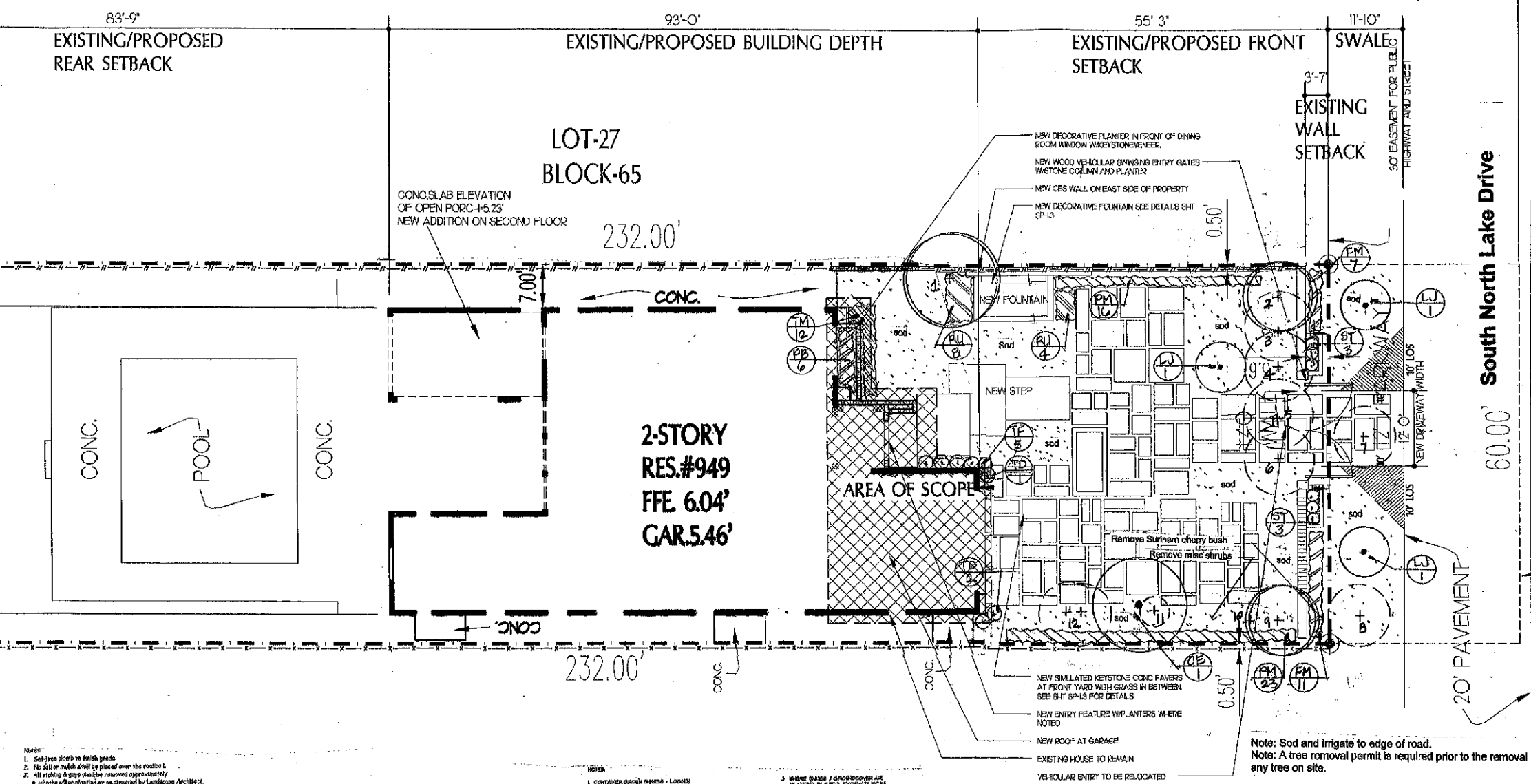
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MARCH 23, 2012

LANDSCAPE



BASED ON A SURVEY PLAN

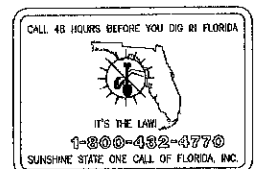
BY SURVEYORS

OF THE PROPERTY LOCATED AT:
HOLLYWOOD LAKES SECTION 1-32 B LOT 28, 29
E 10 BLOCK 65 ACCORDING TO THE PLAT
THEREOF AS RECORDED IN THE PUBLIC
RECORDS OF

BROWARD COUNTY - FL

LEGAL DESCRIPTION

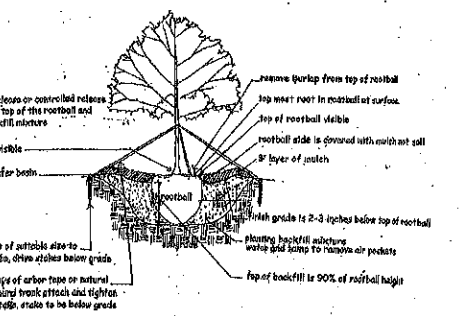
SOUTH LINE
LOTS 28 AND 29 BLOCK 65
(14' TOTAL R/W. PER THIS PLAT)



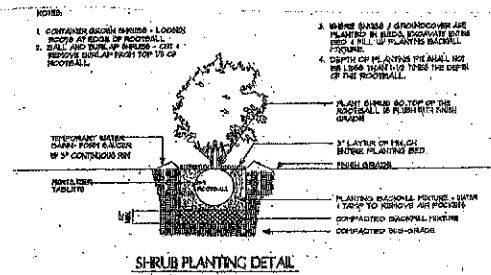
General Notes:

- All plant material shall be Florida No. 1 or better as given in the current *Grades and Standards for Nursery Plants*, 2nd Edition, February 1998, Florida Department of Agriculture and Consumer Services, Division of Plant Industry.
- All plant materials shall be subject to inspection and approval by the Landscape Architect at place of growth and upon delivery for conformity to specification.
- All plants shall be true to species and variety and shall conform to measurements specified. All substitutions shall be submitted to the City and Landscape Architect for final approval.
- All plants shall be exceptionally heavy, symmetrical, tight knit and so trained in appearance as to be superior to form, branching and symmetry.
- Contractor shall notify S.U.N.S.H.I.N.E. (1-800-432-4770) for locations of existing utility lines 48 hours prior to beginning work. Contractor shall verify location of all utility lines and easements prior to commencing any work. Excavation in the vicinity of underground utilities shall be undertaken with care and by hand. If necessary, the Contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to Owner.
- Grade B4, shredded sterilized Melaleuca or Eucalyptus mulch shall be used in all mass planting beds and for individual tree pits. All trees shall have a mulch ring with a depth of 3" and a diameter of 3'-4' around their base. All mulch shall be kept 4" from base of all plant material. Mulch beds shall be a minimum of 12" wider than plants measured from outside edge of foliage.
- Sod shall be Zoysia 'Empire' solid and free of weeds, insects, fungus and disease, laid with alternating and abutting joints.
- All trees and shrubs shall be backfilled with a suitable planting soil consisting of 50 percent sand and 50 percent approved compost. All plant materials shall be planted with a minimum of 8 to 18 inches of planting soil around the root ball. Refer to planting details. Planting soil to be backfilled into plant pits by washing in. Planting beds shall be free from road, pea, egg or colored rock, building materials, debris, weeds, noxious pests and disease.
- All sodless areas to have a minimum of 2" of planting soil as described in note #8.
- All trees shall be warranted by the Contractor and will be healthy and in flourishing condition of active growth one year from date of final acceptance.
- All shrubs, groundcovers, vines and sod shall be fully warranted for 90 days under same condition as above.
- All synthetic burlap, synthetic string or cord or wire baskets shall be removed before any trees are planted. All synthetic tape shall be removed from trunks, branches, etc before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before trees are backfilled. Planting soil to be backfilled into pits by washing in.
- All trees, palms and other plants shall be planted with the top of their rootballs no deeper than the final grade surrounding the planting area.
- In areas where paved surfaces abut sod or mulch, the final level of both surfaces should be even.
- All planting shall be installed with fertilizer at time of planting.
- All planting shall be installed in a sound, workmanlike manner and according to good planting procedures. Installation shall include watering, weeding, fertilizing, mulching, selective pruning and removal of refuse and debris on a regular basis so as to present a neat and well kept appearance at all times.
- All landscape soil areas shall have an automatic irrigation system installed. Coverage

- Notes:
- Set tree plants to finish grade.
 - No soil or mulch shall be placed over the rootball.
 - All staking & guy cables removed appropriately.
 - Visible after planting or as directed by Landscape Architect.
 - Do not set caplet under or top of tree.



Note: All trees and palms to be set so that rootballs are 10% above final grade.



Existing Trees

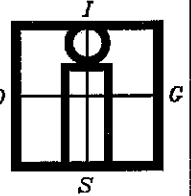
Existing tree symbol	Quantity	Common Name	Size	Disposition
1	1	Royal Palm	28' GW	To remain
2	1	Areca Palm	20' Ht x 12' Spr	To remain
3-6	4	Areca Palm	20' Ht x 12' Spr	To be removed

Plant List

Sym	Qty	Botanical/Common Name	Size
LJ	3	Ligustrum japonicum/ Wax Privet	12' Ht x 6' Spr, multi trunk, tree form
CE*	1	Conocarpus erectus/ Green Buttonwood	10' Ht x 4' Spr
PM	30	Podocarpus macrophyllus/ Podocarpus	24" x 20", 24" O.C.
FM	18	Ficus microcarpa / Green Island/ Green Island	16" x 18", 24" O.C.
TD*	3	Tripsacum dactyloides/ Fakahatchee Grass	24" x 24", 24" O.C.
TF*	5	Tripsacum floridanum/ Florida Gamma Grass	18" x 18", 24" O.C.
PB	6	Philodendron 'Burla Marx'/ Burla Marx	16" x 18", 24" O.C.
RJ	12	Ruellia brittoniana 'Purple Showers'/ Ruellia	18" x 18", 24" O.C.
TM	12	Tillandsia maritima/ Yellow Walking Iris	18" x 12"
ST	6	Sansevieria trifasciata 'Black Gold'/ Snake Plant	24" x 20"

Landscape Code Requirements

Sod Zoysia 'Empire'
Mulch Shredded Melaleuca or Eucalyptus
*Indicates native plant



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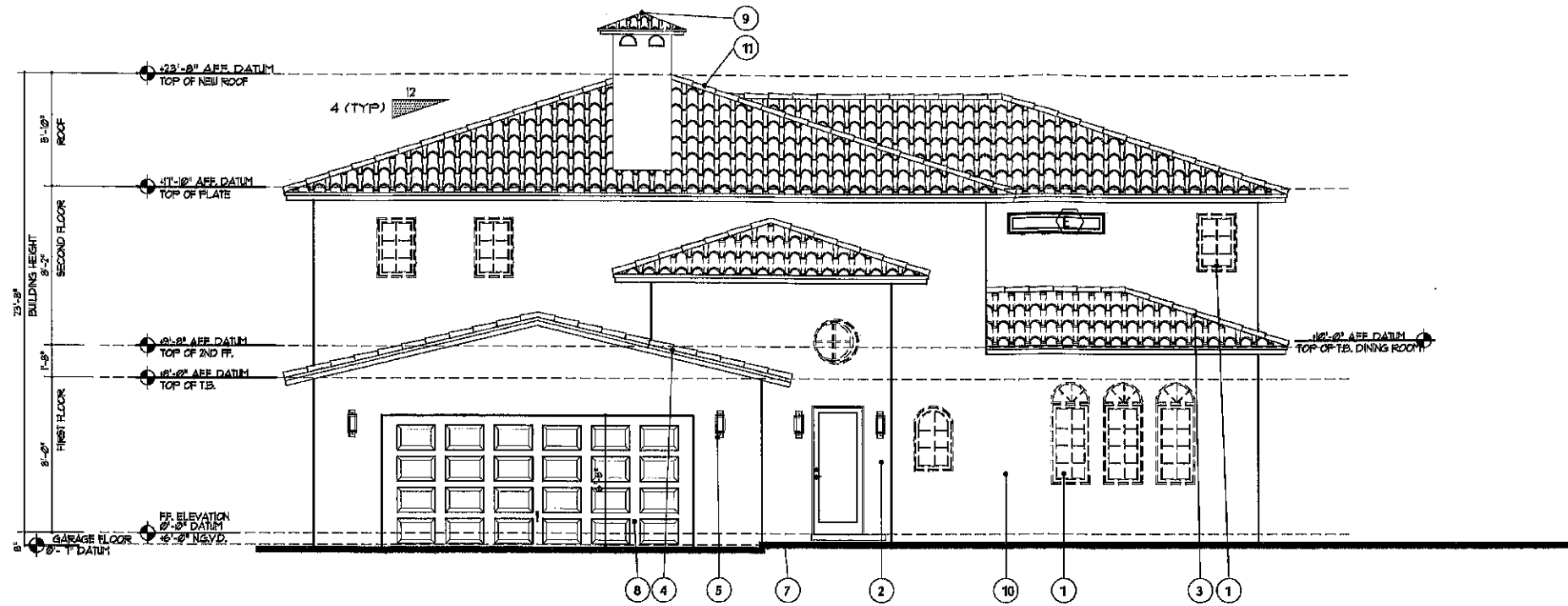
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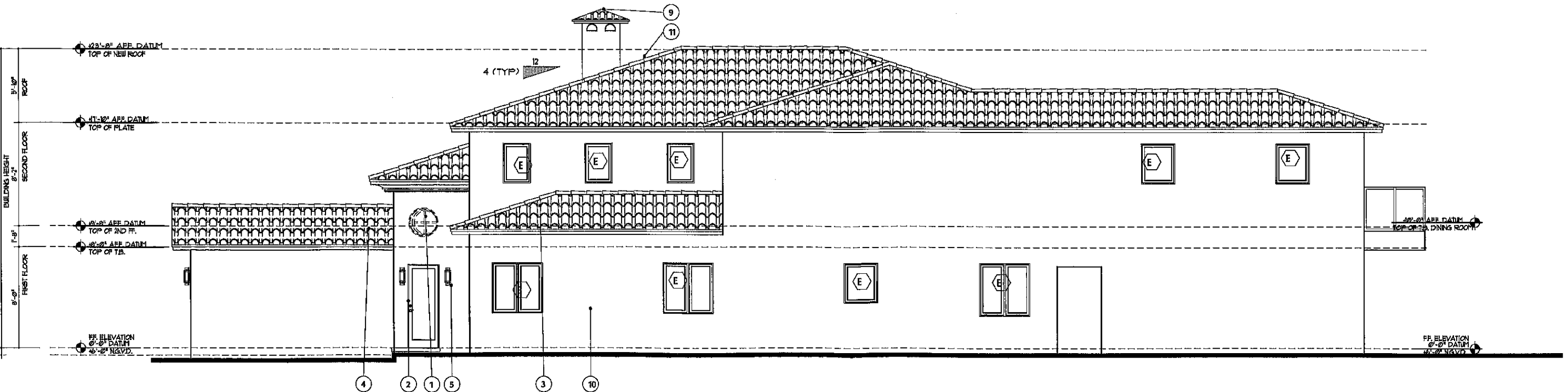
ELEVATIONS

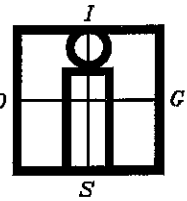


2 ELEVATION KEY NOTES (X)

1. REMOVE EXISTING EXTERIOR WINDOWS AND DOORS WHERE NOTED AT FRONT FACADE. SEE FLOOR PLAN SHEET A-21 AND A-22
2. REMOVE EXISTING EXTERIOR FRONT ENTRY
3. REMOVE ROOF TILE, PATCH AND REPAIR SHEATHING AS REQUIRED
4. REMOVE ROOF TILE, SHEATHING AND ROOF TRUSSES ABOVE GARAGE AND ENTRY ROTUNDA ONLY
5. REMOVE EXISTING EXTERIOR LIGHT FIXTURES AT FRONT
6. REMOVE BLOCK WALL AS PER FLOOR PLAN AND STRUCTURAL DRAWINGS
7. REMOVE EXISTING DRIVEWAY
8. REMOVE EXISTING GARAGE DOOR
9. REMOVE CHIMNEY CAP
10. EXISTING PAINTED STUCCO TO BE SANDBLASTED DOWN TO THE BARE STUCCO AND REMOVE THE EXISTING TEXTURE WITHOUT EXPOSING THE METAL LATH PROVIDE A NEW 1/4" STUCCO SKIN COAT OVER A WELL PREPARED STUCCO SUBSTRATE A PER THE PORTLAND CEMENT AGCO RECOMMENDATIONS AND STANDARD PRACTICES PRIME WORK AND PROVIDE A 2 COAT PAINT FINISH
11. EXISTING TILE ROOF ON SECOND FLOOR TO REMAIN. SEE FLOOR PLAN 8H1 A-23 AND A-24 FOR ADDITIONAL DETAILS

EXISTING FRONT ELEVATION (SOUTH)
SCALE = 1/4" = 1'-0"





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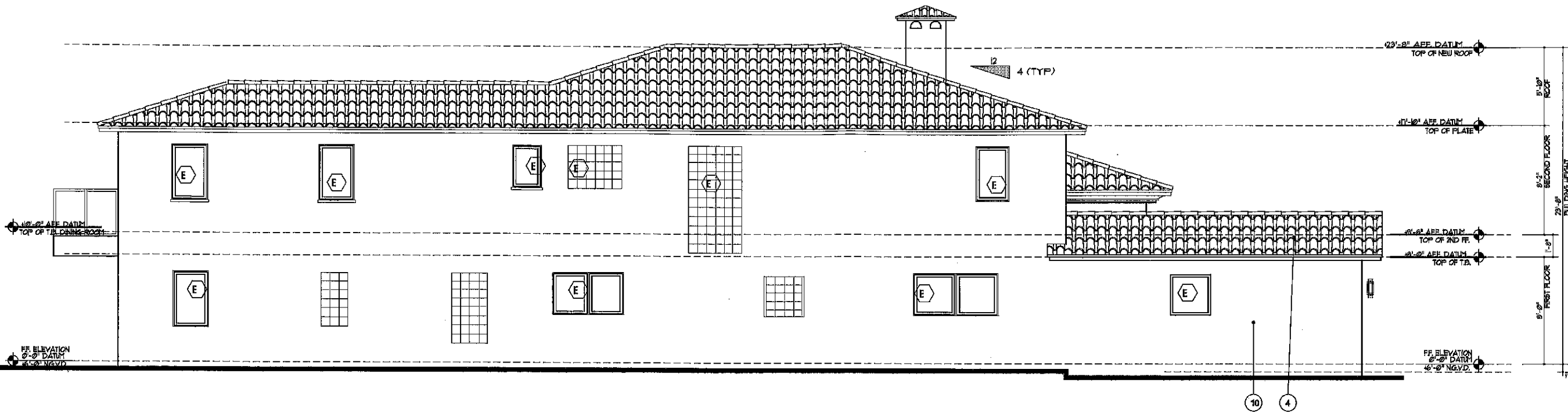
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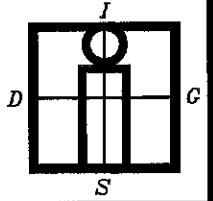
Date Of Issue
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ELEVATIONS



EXISTING SIDE ELEVATION (WEST)
SCALE = 1/4" = 1'-0"

1. REMOVE EXISTING EXTERIOR WINDOWS AND DOORS WHERE NOTED AT FRONT FACADE. SEE FLOOR PLAN SHEET A-21 AND A-22
2. REMOVE EXISTING EXTERIOR FRONT ENTRY
3. REMOVE ROOF TILE, PATCH AND REPAIR SHEATHING AS REQUIRED
4. REMOVE ROOF TILE, SHEATHING AND ROOF TRUSSES, ABOVE GARAGE AND ENTRY ROTUNDA ONLY
5. REMOVE EXISTING EXTERIOR LIGHT FIXTURES AT FRONT
6. REMOVE BLOCK WALL AS PER FLOOR PLAN AND STRUCTURAL DRAWINGS
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10. EXISTING PAINTED STUCCO TO BE SANDBLASTED DOWN TO THE BARE STUCCO AND REMOVE THE EXISTING TEXTURE WITHOUT EXPOSING THE METAL LATH. PROVIDE A NEW 1/2" STUCCO SKY COAT OVER A WELL PREPARED STUCCO SUBSTRATE. A PER THE PORTLAND CEMENT ABCO RECOMMENDATIONS AND STANDARD PRACTICES PRIME WORK AND PROVIDE A 2 COAT PAINT FINISH
11. EXISTING TILE ROOF ON SECOND FLOOR TO REMAIN. SEE FLOOR PLAN SHEET A-23 AND A-24 FOR ADDITIONAL DETAILS



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TO BE SCALES.

PROJECT:
KODNER RESIDENCE

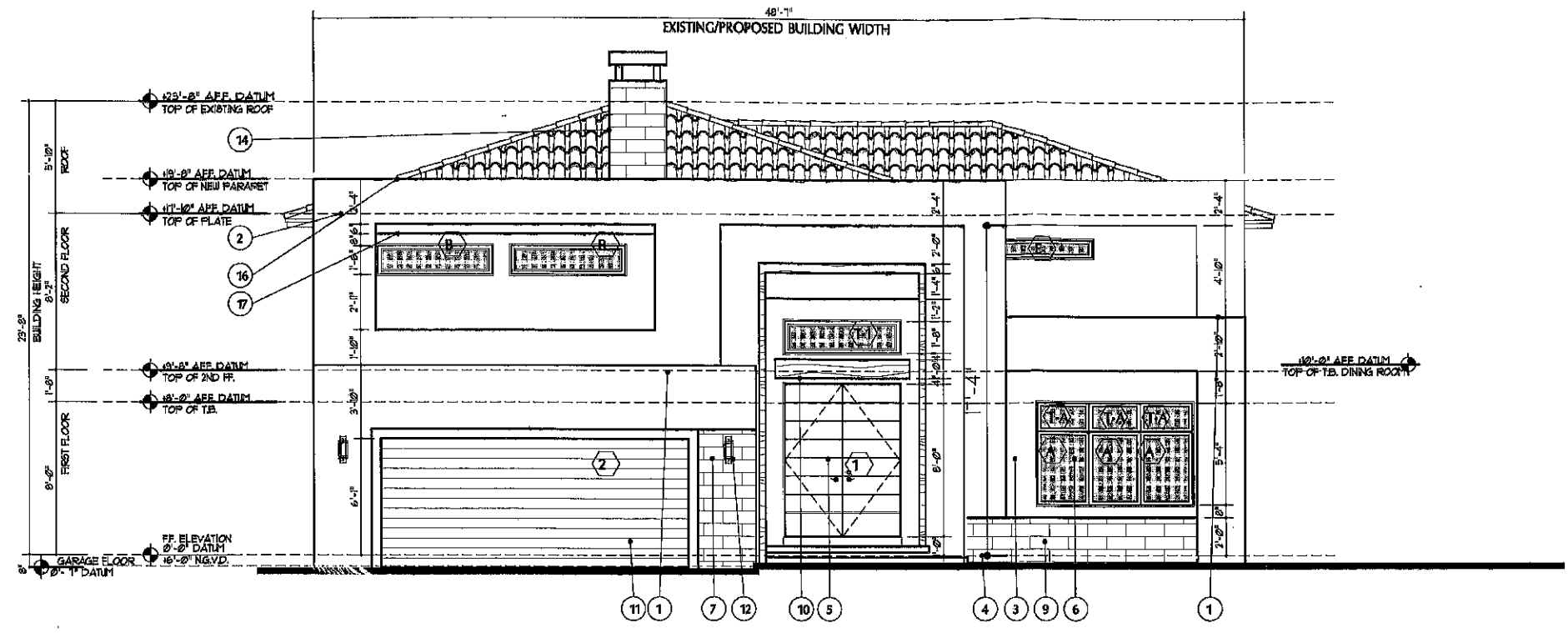
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ELEVATIONS

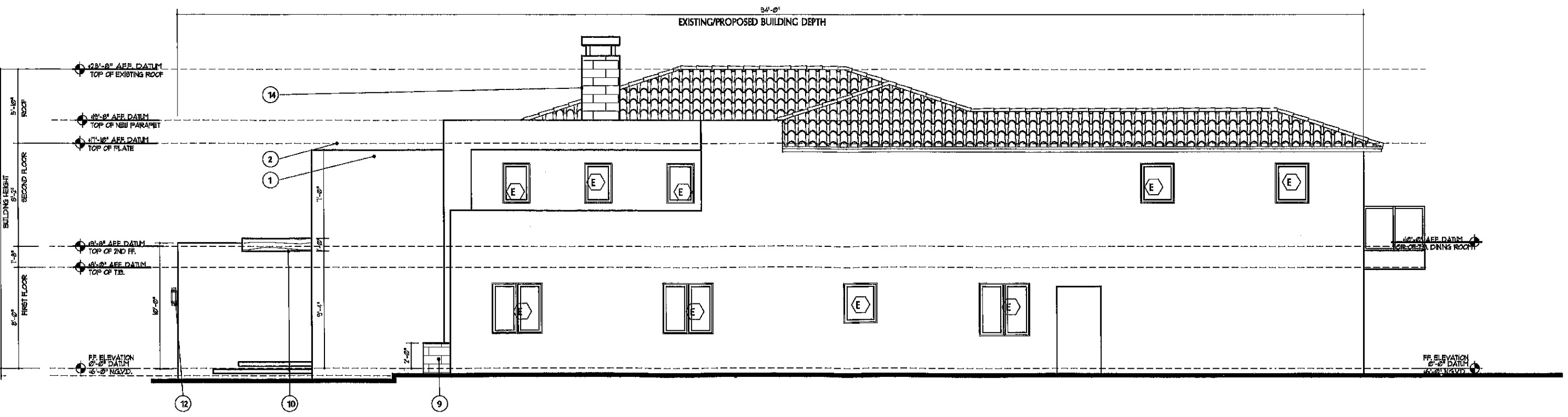


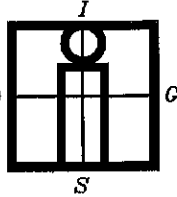
1. MIAMI DADE COUNTY APPROVED FLAT ROOF. METHOD TO BE REVIEWED AND APPROVED BY DESIGN ARCHITECT PRIOR TO MANUFACTURE (TYP)
2. LINE OF THE BEAM. SEE STRUCT DWSG.
3. EXISTING PAINTED STUCCO TO BE SANDBLASTED DOWN TO THE BASE STUCCO AND REMOVE THE EXISTING TEXTURE WITHOUT EXPOSING THE METAL LATH PROVIDE A NEW 1/4" STUCCO SKIM COAT OVER A UELL PREPARED STUCCO SUBSTRATE A PER THE PORTLAND CEMENT ASCO RECOMMENDATIONS AND STANDARD PRACTICES FROM WORK AND PROVIDE A 2 COAT PAINT FINISH LIGHT TEXTURED STUCCO. STUCCO SHALL BE INSTALLED AS PER ASTM C526 EXCLUDING TABLE 4 (TYP)
4. LINE OF CONCRETE SLAB
5. NEW WOOD FRONT DOOR
6. NEW IMPACT GLASS WINDOWS WITH WHITE FRAME TO MATCH EXISTING
7. PRECAST SIMULATED KEYSTONE VENEER AT ENTRY. ATTACH AS PER MANUF. SPECS
8. CONTINUOUS SCREENED VENT AT EAVE SEE DET. A AND B SHT A-9
9. DECORATIVE CONC PLANTER W/KEYSTONE VENEER
10. CANTILEVERED OVER-HANG W/SIMULATED WOOD VENEER RESYSTA INSTALLED AS PER MANUF. SPECS
11. NEW SIMULATED WOOD VENEER GARAGE DOOR. CONTRACTOR TO COORDINATE WEEDING OPENING
12. NEW EXTERIOR GRADE LIGHT FIXTURE (REFER TO ELECTRICAL DRAWINGS). HEIGHT NOT TO EXCEED 8'-0" AFF
13. NOT USED
14. NEW FIREPLACE CHIMNEY CAP. CHIMNEY WRAPPED IN KEYSTONE. CHIMNEY EXCEPT FROM HEIGHT RESTRICTIONS.
15. VENT IN BLOCK AT GARAGE AS REQUIRED SEE DETAIL 4 SHT A-12 SPACE EVENLY.
16. CONTRACTOR TO PROVIDE GUTTERS AS REQ. FOR ROOF DRAINAGE (TYP) CONTRACTOR TO COORDINATE LOCATION OF GUTTERS W/ARCHITECT
17. NEW DECORATIVE EYEBROW ABOVE WINDOWS

NOTE:
- DIMENSIONS SHOWN ARE TO TOP OF FF. SEE ELEVATIONS AND STRUCT DWSG FOR TB HEIGHT AND DEPTH
- ALL WINDOWS AND DOORS MARKED 'E' ARE EXISTING TO REMAIN
- SEE SHT A-31 FOR WINDOW AND DOOR SCHEDULE
- SHEETS ARE BOUND BY THE REQUIREMENTS ON SHT A-02

EW FRONT ELEVATION (SOUTH)
SCALE = 1/4" = 1'-0"

2 ELEVATION KEY NOTES (X)





**IN-SITE
DESIGN
GROUP INC**

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STATE OF FLORIDA LICENSE No. AR-001697

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DISAPPROPRIATE TO THE ARCHITECT'S
CONSTRUCTION OF WORK. DIMENSIONS ARE NOT
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PROJECT:
KODNER RESIDENCE

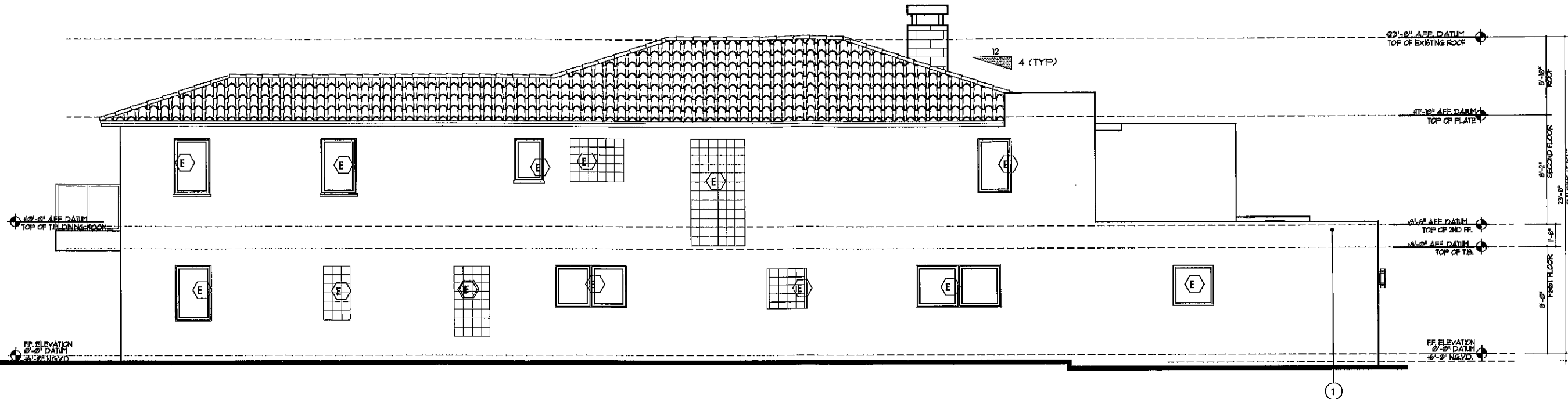
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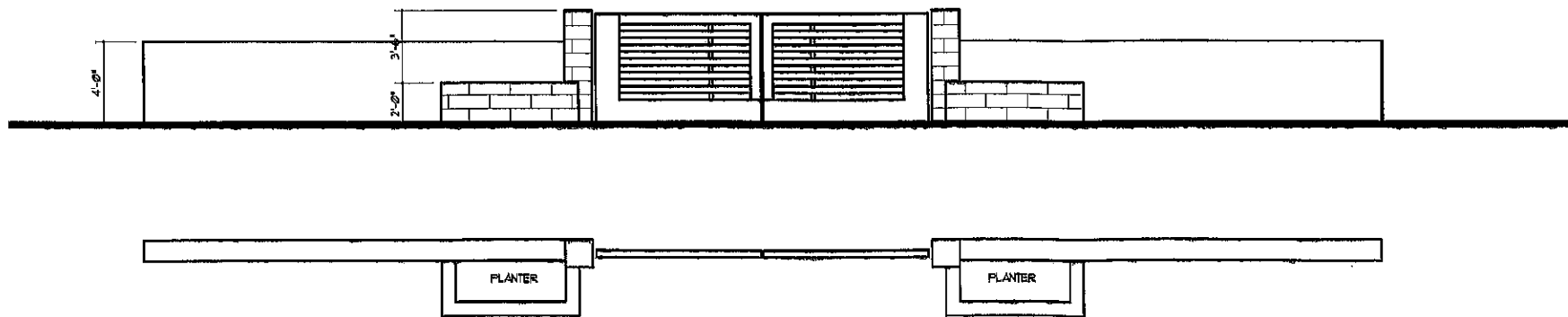
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ELEVATIONS

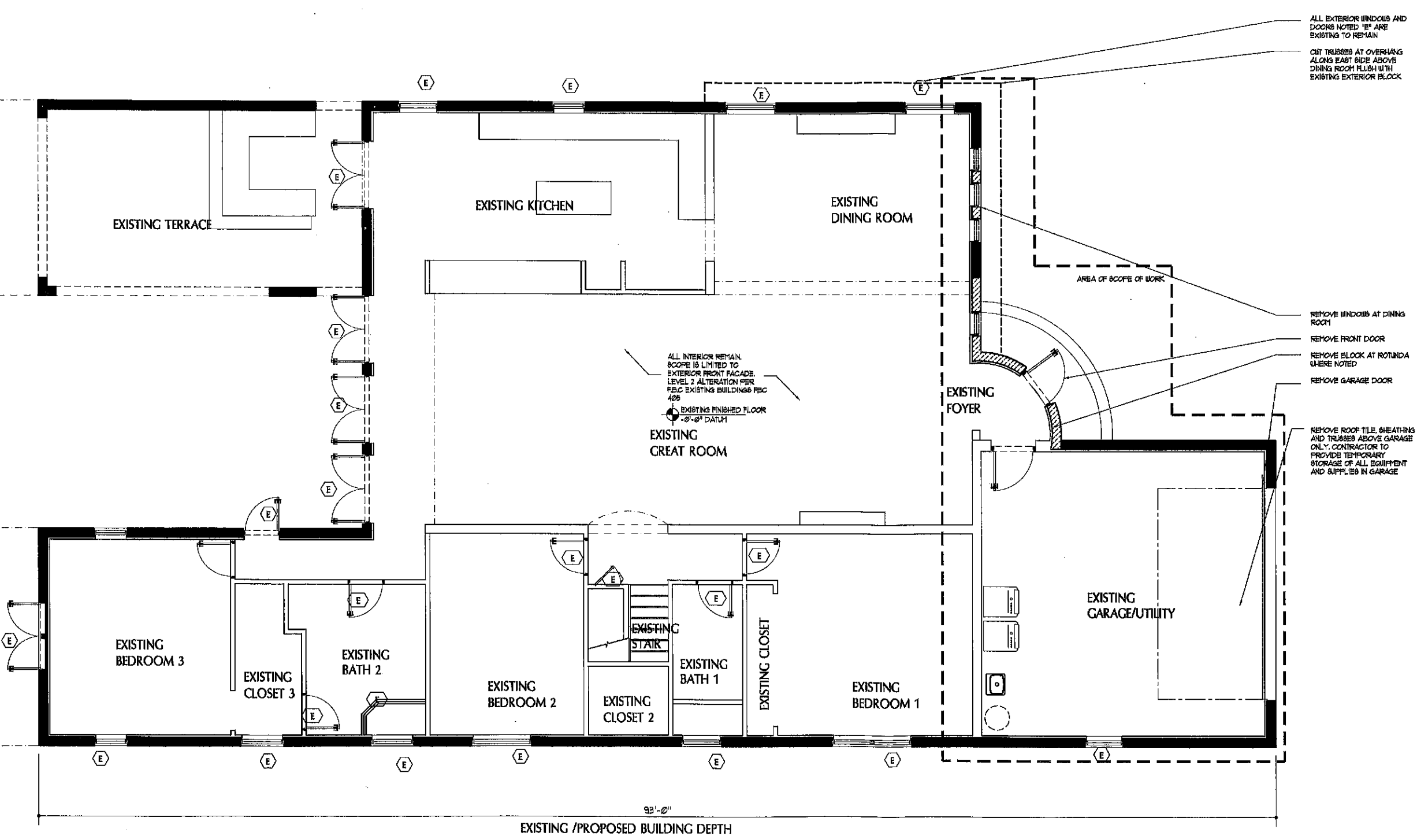


WEST SIDE ELEVATION (WEST)
SCALE = 1/4" = 1'-0"



1. MIAMI DADE COUNTY APPROVED FLAT ROOF. METHOD TO BE REVISIED AND APPROVED BY DESIGN ARCHITECT PRIOR TO MANUFACTURE (TYP)
2. LINE OF THE BEAM. SEE STRICT DUGS.
3. EXISTING PAINTED STUCCO TO BE SANDBLASTED DOWN TO THE BARE STUCCO AND REMOVE THE EXISTING TEXTURE WITHOUT EXPOSING THE METAL LATH PROVIDE A NEW 1/4" STUCCO SKIM COAT OVER A WELL PREPARED STUCCO SUBSTRATE A PER THE PORTLAND CEMENT ASCO RECOMMENDATIONS AND STANDARD PRACTICES PRIME WORK AND PROVIDE A 2 COAT PAINT FINISH LIGHT TEXTURED STUCCO. STUCCO SHALL BE INSTALLED AS PER PART 0336 EXCLUDING TABLE 4 (TYP)
4. LINE OF CONCRETE SLAB
5. NEW WOOD FRONT DOOR
6. NEW IMPACT GLASS WINDOW WITH WHITE FRAME TO MATCH EXISTING
7. PRECAST SIMULATED KEYSTONE VENEER AT ENTRY. ATTACH AS PER MANF. SPECS
8. CONTINUOUS SCREENED VENT AT EAVE SEE DET. A AND B SHIT A-9
9. DECORATIVE CONC FLANTER W/STYLONE VENEER
10. CANTILEVERED OVERHANG W/SIMULATED WOOD VENEER RECYSTA INSTALLED AS PER MANF. SPECS
11. NEW SIMULATED WOOD VENEERED GARAGE DOOR. CONTRACTOR TO COORDINATE WEIGHING OPENING
12. NEW EXTERIOR GRADE LIGHT FIXTURE (REFER TO ELECTRICAL DRAWINGS). HEIGHT NOT TO EXCEED 8'-0" AFF
13. NOT USED
14. NEW FIREPLACE CHIMNEY CAP. CHIMNEY WRAPPED IN KEYSTONE. CHIMNEY EXCEPT FROM HEIGHT RESTRICTIONS
15. VENT IN BLOCK AT GARAGE AS REQUIRED SEE DETAIL 4 SHIT A-12 SPACE EVENLY.
16. CONTRACTOR TO PROVIDE GUTTERS AS REG. FOR ROOF DRAINAGE (TYP) CONTRACTOR TO COORDINATE LOCATION OF GUTTERS W/ARCHITECT
17. NEW DECORATIVE EYEBROW ABOVE WINDOW

NOTE:
- DIMENSIONS SHOWN ARE TO TOP OF FF. SEE ELEVATIONS
AND STRICT DUGS FOR TB HEIGHT AND DEPTH
ALL WINDOW AND DOORS MARKED "E" ARE EXISTING TO REMAIN
- SEE SHIT A-3J FOR WINDOW AND DOOR SCHEDULE



DEMOLITION NOTES

DEMOLITION FOR REMODELING

PROTECTION
DO NOT INTERFERE WITH THE USE OF ADJACENT BUILDINGS. CEASE OPERATIONS AND NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT EXISTING STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.

EXISTING SERVICES
ARRANGE AND PAY FOR DISCONNECTING, REMOVAL AND CAPPING UTILITY SERVICES WITHIN AREA OF DEMOLITION. DISCONNECT AND STUBS-OFF AS REQUIRED. IF CONNECTED TO AREA WHERE OWNER WILL CONTINUE USE DURING CONSTRUCTION, CONTRACTOR SHALL ADVISE OWNER OF INTERRUPTION IN UTILITIES DURING THE WORK. CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR USE AND SERVICE DISCONNECT AS REQUIRED.

PREPARATION
REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES. CARRY OUT DEMOLITION WORK TO CAUSE AS LITTLE INCONVENIENCE TO OWNER AND TO ADJACENT OCCUPIED BUILDING AREAS AS POSSIBLE. ALL DEMOLISHED MATERIALS AND OTHER DEBRIS SHALL BE REMOVED FROM SITE.

DEMOLITION
DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK. REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT, AT NO COST TO OWNER, REPAIR AREAS THAT ARE NOT UNDER CONSTRUCTION SO THAT DEBRIS DOES NOT ENTER INTERIOR. EXECUTION OF DEMOLITION AND ALTERATION WORK SHALL PROGRESS IN A MANNER AS TO INTERFERE AS LITTLE AS POSSIBLE WITH FUNCTIONS AND NORMAL OPERATIONS OF THE EXISTING BUILDING AND WITH SAFETY AND PRIVACY OF THOSE RESIDING AND/OR WORKING IN AND ABOUT PREMISES. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP BOTH OF CONSTRUCTION SITE AS WELL AS ANY AREAS WHICH BECOME EFFECTED BY CONSTRUCTION DEBRIS.

EXISTING
PRIOR TO REMOVING EXISTING CONSTRUCTION, CONTRACTOR SHALL PROVIDE BRACING AND SUPPORT TO ANY STRUCTURAL MEMBERS BEING SUPPORTED BY THE REMOVED CONSTRUCTION. EXISTING MASONRY WALLS SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION SHOULD BEARING BLOCK, CONCRETE OR STRUCTURAL WALLS, BEAMS AND/OR COLUMNS BE DISCOVERED DURING DEMOLITION WHICH ARE NOT NOTED ON PLANS, CONTRACTOR SHALL STOP WORK AND NOTIFY ARCHITECT IMMEDIATELY.

SUPERVISION
SUPERVISION OF CONTRACTORS: THE GENERAL CONTRACTOR OR HIS QUALIFIED REPRESENTATIVE SHALL BE PRESENT WHEN SUBCONTRACTORS ARE ON THE JOB.

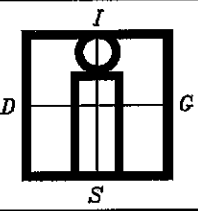
PROTECTION OF LANDSCAPING
THE CONTRACTOR SHALL PROTECT FROM DAMAGE WITHOUT LIMITING THE SCOPE THEREOF, EXISTING LANDSCAPING, GROUND-COVERS, GRASS, SHRUBS, PLANTS AND TREES, UNLESS SUCH LANDSCAPING SHALL BE INDICATED AS TO BE REMOVED ON THE LANDSCAPE PLAN. ALL LANDSCAPING SHALL REMAIN UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLAN. NOTIFY OWNER IF LANDSCAPING SHALL BE EFFECTED IN ANY WAY.

WORKMANSHIP
ALL WORK SHALL BE PERFORMED IN A MANNER CONSISTENT WITH THE BEST PRACTICES FOR THE RESPECTIVE TRADES AND QUALITY SPECIFIED. WORK NOT CONSISTENT WITH THE TRADES HIGHEST LEVEL OF WORKMANSHIP SHALL BE REJECTED. ANY WORK REJECTED SHALL BE DONE AT CONTRACTOR'S EXPENSE. CORRECTION OF DEFECTIVE WORK SHALL BE STARTED NOT LATER THAN 5 DAYS AFTER NOTICE IS GIVEN TO THE CONTRACTOR AND SHALL PROCEED WITHOUT DELAY UNTIL WORK IS COMPLETED.

PROTECTION OF PERSONS AND PROPERTY
SAFETY PRECAUTIONS AND PROGRAMS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN ACCORDANCE WITH THE WORK.

SAFETY OF PERSONS AND PROPERTY
THE CONTRACTOR SHALL TAKE ALL REASONABLE PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO ALL EMPLOYEES ON THE WORK AND ALL OTHER PERSONS WHO MAY BE AFFECTED.

ASBESTOS AND LEAD-BASED PAINT
ANY AND ALL ASBESTOS AND/OR LEAD PAINT DISCOVERED DURING DEMOLITION OR CONSTRUCTION MUST BE REPORTED TO ARCHITECT AND OWNER IMMEDIATELY.



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PROJECT:
KODNER RESIDENCE

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HOLLYWOOD, FL 33018

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2 DEMOLITION NOTES

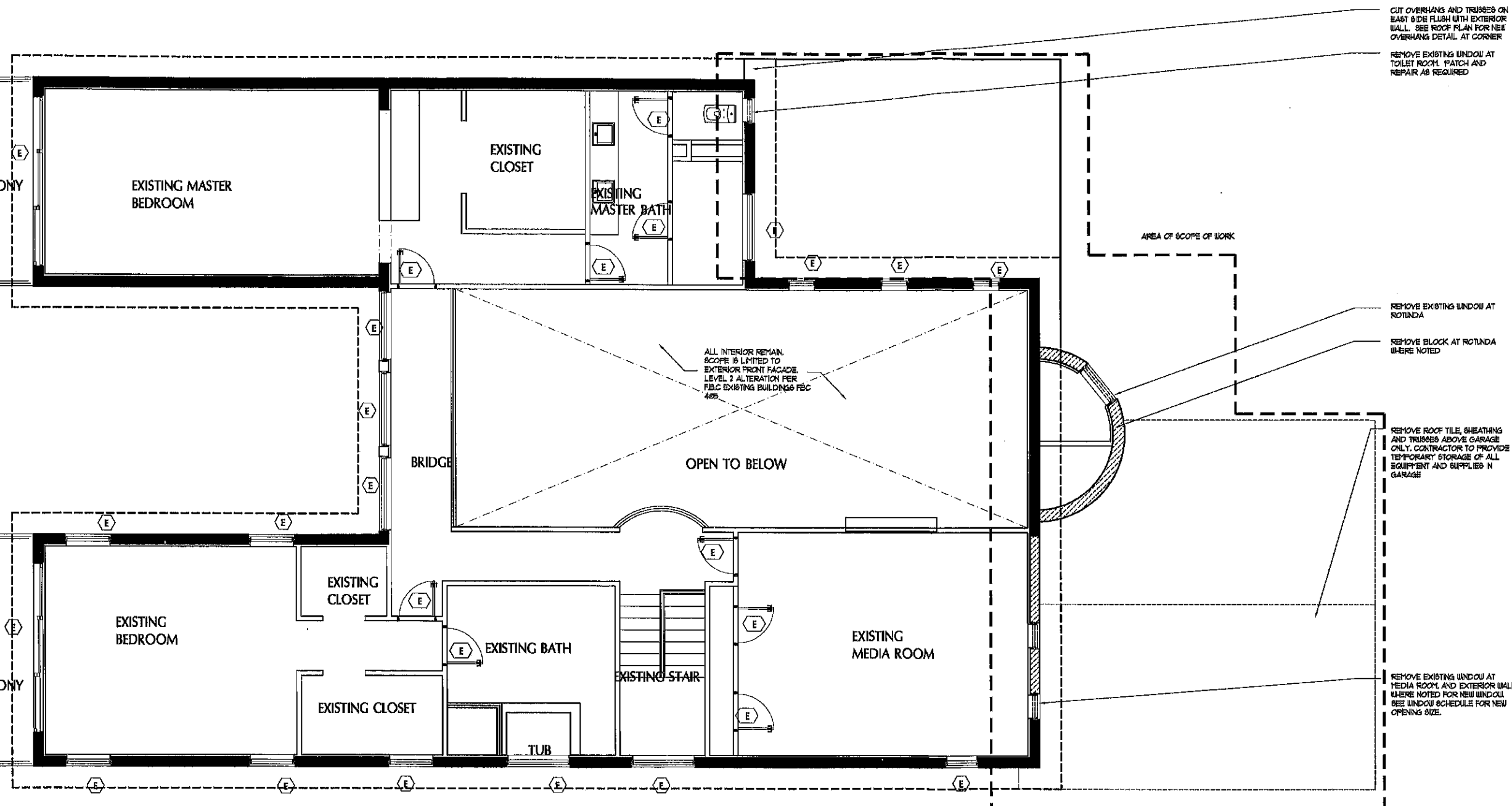
- EXISTING CBS WALLS TO REMAIN
- NEW INTERIOR PARTITION SEE DTL'S
- PARTITION WALLS TO BE REMOVED
- BLOCK OR WOOD WALLS TO BE REMOVED
- NEW EXTERIOR BLOCK WALL SEE DTL'S

3 LEGEND

- A. VERIFY LOCATION OF ALL EXISTING OPENINGS, STRUCTURAL WALLS, COLUMNS, AND PLUMBING FIELD. VERIFY ALL DIMENSIONS. EXISTING DIMENSIONS ARE BASED ON ORIGINAL DIGGS AND SHALL BE VERIFIED.
- B. THIS SHEET IS BOUND BY THE REQUIREMENTS ON COVER SHEET, SHEET SITE PLAN DIGGS, AND GENERAL NOTES.
- C. SHOULD EXTERIOR BLOCK, CONCRETE, STRUCTURAL WALLS, COLUMNS OR PLUMBING OR ELECTRICAL BE DISCOVERED DURING DEMOLITION WHICH ARE NOT NOTED ON THE PLANS, CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY ARCHITECT.

Date Of Issue
MARCH-15-2012

FLOOR PLAN



DEMOLITION NOTES

DEMOLITION FOR REMODELING
PROTECTION
 DO NOT INTERFERE WITH THE USE OF ADJACENT BUILDINGS. CEASE OPERATIONS AND NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT EXISTING STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.

EXISTING SERVICES
 ARRANGE AND PAY FOR DISCONNECTING, REMOVAL AND CAPPING UTILITY SERVICES WITHIN AREA OF DEMOLITION. DISCONNECT AND SHUT-OFF AS REQUIRED. IF CONNECTED TO AREA WHERE OWNER WILL CONTINUE USE DURING CONSTRUCTION, CONTRACTOR SHALL ADVISE OWNER OF INTERRUPTION IN UTILITIES DURING THE WORK. CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR USE AND SERVICE DISCONNECT AS REQUIRED.

PREPARATION
 REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES. CARRY OUT DEMOLITION WORK TO CAUSE AS LITTLE INCONVENIENCE TO OWNER AND TO ADJACENT OCCUPIED AREAS AS POSSIBLE. ALL DEMOLISHED MATERIALS AND OTHER DEBRIS SHALL BE REMOVED FROM SITE.

DEMOLITION
 DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK. REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT, AT NO COST TO OWNER, SEAL OFF AREAS THAT ARE NOT UNDER CONSTRUCTION SO THAT DEBRIS DOES NOT ENTER INTERIOR. EXECUTION OF DEMOLITION AND ALTERATION WORK SHALL PROGRESS IN A MANNER AS TO INTERFERE AS LITTLE AS POSSIBLE WITH FUNCTIONS AND NORMAL OPERATIONS OF THE EXISTING BUILDING AND WITH SAFETY AND PRIVACY OF THOSE RESIDING AND/OR WORKING IN AND ABOUT PREMISES. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP BOTH OF CONSTRUCTION SITE AS WELL AS ANY AREAS WHICH BECOME EFFECTED BY CONSTRUCTION DEBRIS.

EXISTING
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SUPERVISION
 SUPERVISION OF CONTRACTORS: THE GENERAL CONTRACTOR OR HIS QUALIFIED REPRESENTATIVE SHALL BE PRESENT WHEN SUBCONTRACTORS ARE ON THE JOB.

PROTECTION OF LANDSCAPING
 THE CONTRACTOR SHALL PROTECT FROM DAMAGE, WITHOUT LIMITING THE SCOPE THEREOF, EXISTING LANDSCAPING, GRASS AND COVERED GRASS, SHRUBS, PLANTS AND TREES, UNLESS SUCH LANDSCAPING SHALL BE INDICATED AS TO BE REMOVED ON THE LANDSCAPE PLAN. ALL LANDSCAPING SHALL REMAIN UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLAN. NOTIFY OWNER IF LANDSCAPING SHALL BE EFFECTED IN ANY WAY.

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PROTECTION OF PERSONS AND PROPERTY
 SAFETY PRECAUTIONS AND PROGRAMS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN ACCORDANCE WITH THE WORK.

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ASBESTOS AND LEAD BASED PAINT
 ANY AND ALL ASBESTOS AND/OR LEAD PAINT DISCOVERED DURING DEMOLITION OR CONSTRUCTION MUST BE REPORTED TO ARCHITECT AND OWNER IMMEDIATELY.

CUT OVERHANGS AND TRUSSES ON EAST SIDE FLUSH WITH EXTERIOR WALL. SEE ROOF PLAN FOR NEW OVERHANG DETAIL AT CORNER

REMOVE EXISTING WINDOW AT TOILET ROOM. PATCH AND REPAIR AS REQUIRED

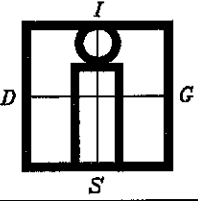
REMOVE EXISTING WINDOW AT ROTUNDA

REMOVE BLOCK AT ROTUNDA WHERE NOTED

REMOVE ROOF TILE, SHEATHING AND TRUSSES ABOVE GARAGE ONLY. CONTRACTOR TO PROVIDE TEMPORARY STORAGE OF ALL EQUIPMENT AND SUPPLIES IN GARAGE

REMOVE EXISTING WINDOW AT MEDIA ROOM AND EXTERIOR WALL WHERE NOTED FOR NEW WINDOW. SEE WINDOW SCHEDULE FOR NEW OPENING SIZE.

ALL INTERIOR REMAIN. SCOPE IS LIMITED TO EXTERIOR FRONT FACADE LEVEL 2 ALTERATION PER F.B.C. EXISTING BUILDINGS F.B.C. 405



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PROJECT:
 KODNER RESIDENCE

ADDRESS:
 948 SOUTH NORTH LAKE DRIVE
 HOLLYWOOD, FL. 33019

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REVISIONS

2 DEMOLITION NOTES

- EXISTING CBS WALLS TO REMAIN
- NEW INTERIOR PARTITION SEE DTL6
- PARTITION WALLS TO BE REMOVED
- BLOCK WALLS TO BE REMOVED
- NEW EXTERIOR BLOCK WALL SEE DTL6

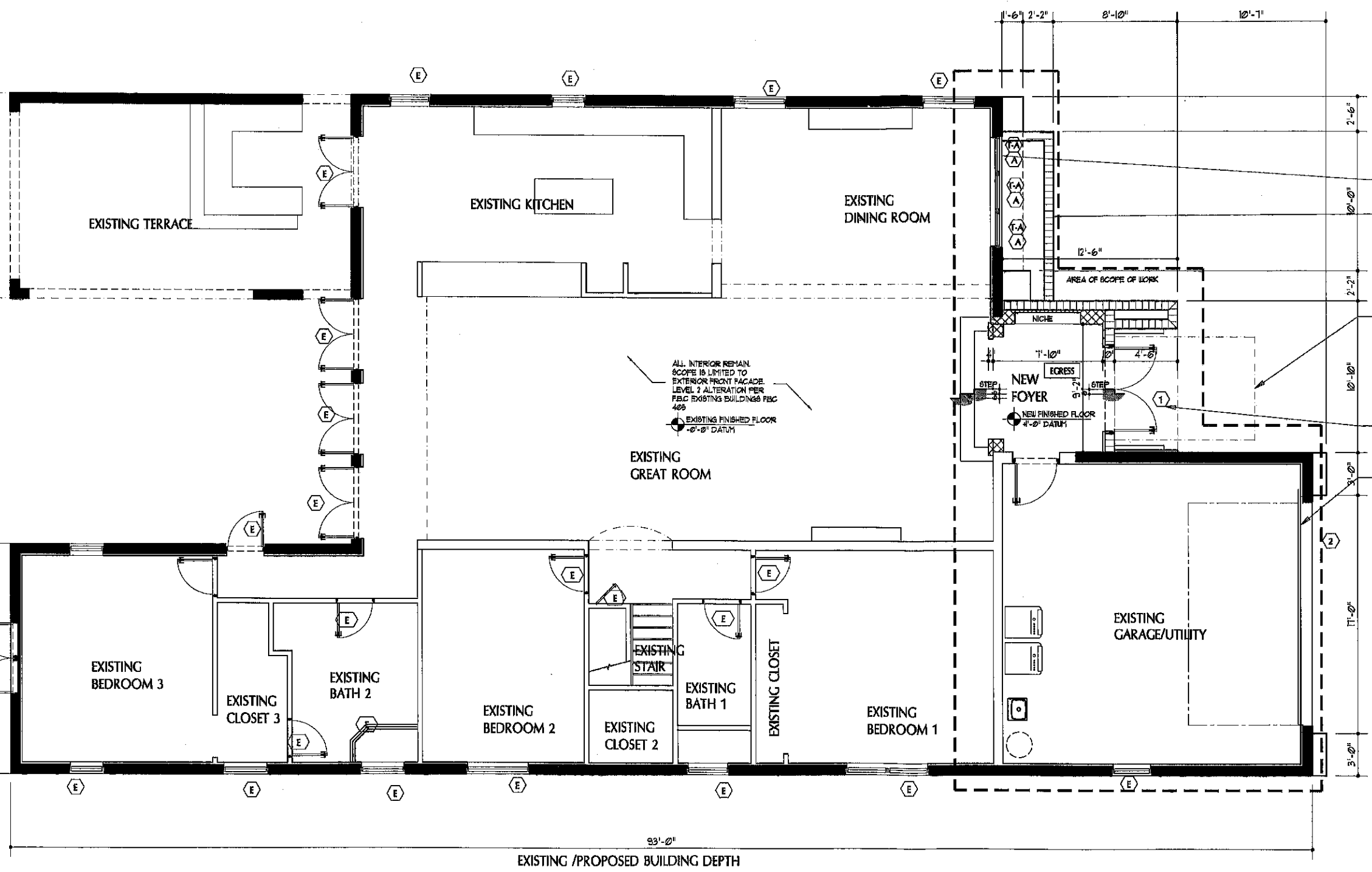
3 LEGEND

A. VERIFY LOCATION OF ALL EXISTING OPENINGS, STRUCTURAL WALLS, COLUMNS, AND PLUMBING FIELD. VERIFY ALL DIMENSIONS. EXISTING DIMENSIONS ARE BASED ON ORIGINAL DIGGS AND SHALL BE VERIFIED.

B. THIS SHEET IS BOUND BY THE REQUIREMENTS ON COVER SHEET, SHEET SITE PLAN DIGGS, AND GENERAL NOTES.

C. SHOULD EXTERIOR BLOCK, CONCRETE, STRUCTURAL WALLS, COLUMNS, PLUMBING OR ELECTRICAL BE DISCOVERED DURING DEMOLITION WHICH ARE NOT NOTED ON THE PLANS, CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY ARCHITECT.

Date Of Issue
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1. NEW 2' HIGH CONC PLANTER W/KEYSTONE VENEER
2. KEYSTONE VENEERED WALL
3. NEW IMPACT GLASS EXTERIOR WINDOWS WITH WHITE FRAME TO MATCH EXISTING
4. EXISTING EXTERIOR WINDOWS AND DOORS MARKED 'E' TO REMAIN
5. NEW WOOD FRONT DOOR TO COMPLY W/REGS

NOTES TO BUILDER:
 BUILDER IS RESPONSIBLE FOR PROVIDING FINAL TRUSS ENGINEERING PRIOR TO CONSTRUCTION TO ARCHITECT.

CONTRACTOR TO PROVIDE COUNTY W/ CERTIFIED COMPACTION REPORT BEFORE INSPECTION AS PER F.B.C. R4404.4

A SPOT SURVEY IS REQUIRED SHOWING LOCATION AND ELEVATION OF SLAB

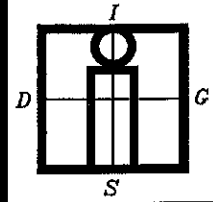
SOIL TREATMENT FOR PROTECTION AGAINST TERMITES SHALL BE SUBMITTED TO BUILDING DEPT. FROM A NATIONAL PEST CONTROL ASSOC. BEFORE CONCRETE CAN BE POURED PER F.B.C. R230 BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY PERFORMING THE TREATMENT AS PER F.B.C. R301.1

OWNER TO SELECT ALL APPLIANCES FINISHES AND FIXTURES. ITEMS NOTED ARE SUGGESTED AND SHOULD BE CONFIRMED W/OWNER PRIOR TO PURCHASE OR INSTALLATION (TYP). CONTRACTOR TO COORDINATE FINAL APPLIANCE LAYOUT & SELECTIONS W/ALL TRADES PRIOR TO ROUGH IN.

EXTERIOR DOORS AND WINDOWS LABELED EMERGENCY ESCAPE AND RESCUE MUST COMPLY W/F.B.C. SECT R302 AND R4102.2(TYP)

ALL WORK TO BE DONE IN ACCORDANCE W/THE FLORIDA BUILDING CODE 2010 ED WITH 2009 AMENDMENTS AND CHAPTER 44 HIGH VELOCITY HURRICANE ZONES AND FBC R302 TO R306(TYP)

GREEN TECHNOLOGIES WILL BE UTILIZED WHEREVER POSSIBLE INCLUDING BUT NOT LIMITED TO, ENERGY STAR APPLIANCES, TANKLESS HEATERS, UPGRADED WINDOWS, MECHANICAL SYSTEMS AND INSULATION, LOW FLOW WATER EFFICIENT FIXTURES, ENERGY EFFICIENT LIGHTING AND LOW VOC PAINTS.



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2 FLOOR PLAN KEY NOTES

- EXISTING CBS WALLS TO REMAIN
- NEW INTERIOR PARTITION SEE DTLS
- PARTITION WALLS TO BE REMOVED
- BLOCK WALLS TO BE REMOVED
- NEW EXTERIOR BLOCK WALL SEE DTLS

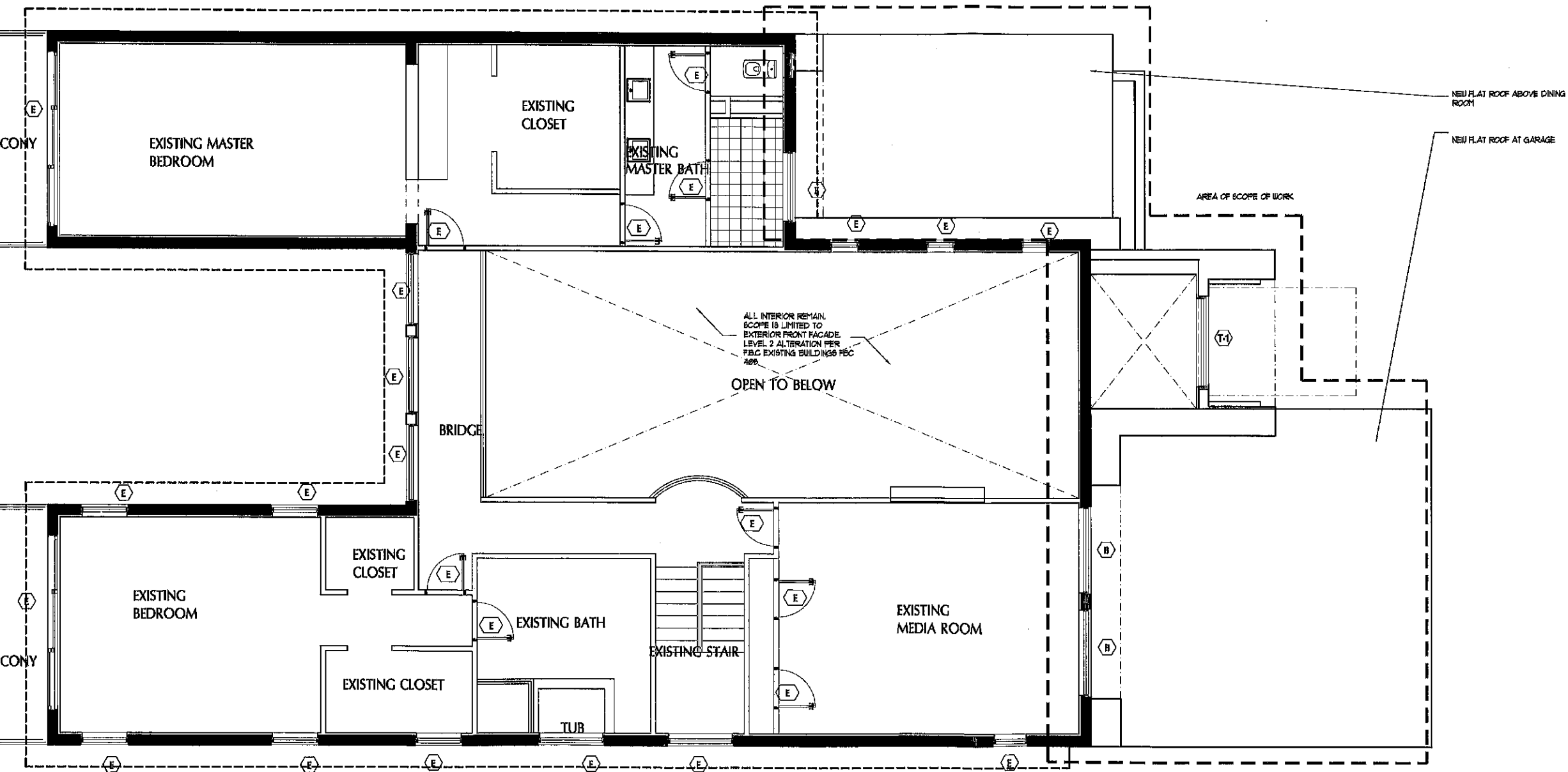
3 LEGEND

	EXISTING	PROPOSED
1ST FLOOR A/C SPACE	2,683 SF	2,764 SF
2ND FLOOR A/C SPACE	1,999 SF	1,999 SF
TOTAL A/C SPACE	4,642 SF	4,723 SF
GARAGE	517 SF	517 SF
COVERED AREA 1ST FL.	358 SF	407 SF
COVERED AREA 2ND FL.	0 SF	0 SF
TOTAL SPACE	5,517 SF	5,647 SF

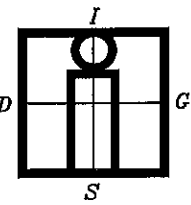
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FLOOR PLAN



1. NEW 2" HIGH CONC FLANTER W/KEYSTONE VENEER
2. KEYSTONE VENEERED WALL
3. NEW IMPACT GLASS EXTERIOR WINDOWS WITH WHITE FRAME TO MATCH EXISTING
4. EXISTING EXTERIOR WINDOWS AND DOORS MARKED 'E' TO REMAIN
5. NEW WOOD FRONT DOOR TO COMPLY W/REGS



IN-SITE DESIGN GROUP INC

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 PROJECT COORDINATOR:
 ANNIE CARRUTHERS
 OGC 1511058
 ARCHITECT
 SAMUEL R. UCCELLO

NOTES TO BUILDER:
 BUILDER IS RESPONSIBLE FOR PROVIDING FINAL TRUSS ENGINEERING PRIOR TO CONSTRUCTION TO ARCHITECT.

CONTRACTOR TO PROVIDE COUNTY W/ CERTIFIED COMPACTION REPORT BEFORE INSPECTION AS PER F.B.C. R44044

A SPOT SURVEY IS REQUIRED SHOWING LOCATION AND ELEVATION OF SLAB

SOIL TREATMENT FOR PROTECTION AGAINST TERMITES SHALL BE SUBMITTED TO BUILDING DEPT. FROM A NATIONAL PEST CONTROL ASSOC. BEFORE CONCRETE CAN BE POURED SEC. F.B.C. R320 BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY PERFORMING THE TREATMENT AS PER F.B.C. R361T

OWNER TO SELECT ALL APPLIANCES FINISHES AND FIXTURES. ITEMS NOTED ARE SUGGESTED AND SHOULD BE CONFIRMED WITH OWNER PRIOR TO PURCHASE OR INSTALLATION (TYP). CONTRACTOR TO COORDINATE FINAL APPLIANCE LAYOUT & SELECTIONS WITH TRADES PRIOR TO ROUGH IN.

EXTERIOR DOORS AND WINDOWS LABELED EMERGENCY ESCAPE AND RESCUE MUST COMPLY W/ F.B.C. SECT R310 AND R4102.5(TYP)

ALL WORK TO BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2010 ED WITH 2020 AMENDMENTS AND CHAPTER 44 HIGH VELOCITY HURRICANE ZONES AND FBC R320 TO R326(TYP)

GREEN TECHNOLOGIES WILL BE UTILIZED WHEREVER POSSIBLE INCLUDING BUT NOT LIMITED TO, ENERGY STAR APPLIANCES, TANKLESS HEATERS, UPGRADED WINDOWS, MECHANICAL SYSTEMS AND INSULATION, LOW FLOW WATER EFFICIENT FIXTURES, ENERGY EFFICIENT LIGHTING AND LOW VOC PAINTS.

SEAL
 STATE OF FLORIDA LICENSE No AR-0015877

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PROJECT:
 KODNER RESIDENCE

ADDRESS:
 949 SOUTH NORTH LAKE DRIVE
 HOLLYWOOD, FL 33019

DISTRIBUTION
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 DESIGN DEVELOPMENT
 APPROVAL
 MARCH-27-2012
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2 FLOOR PLAN KEY NOTES

- EXISTING CBS WALLS TO REMAIN
- NEW INTERIOR PARTITION SEE DTL6
- PARTITION WALLS TO BE REMOVED
- BLOCK WALLS TO BE REMOVED
- NEW EXTERIOR BLOCK WALL SEE DTL6

3 LEGEND

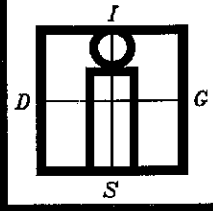
	EXISTING	PROPOSED
1ST FLOOR A/C SPACE	2,683 SF	2,764 SF
2ND FLOOR A/C SPACE	1,959 SF	1,959 SF
TOTAL A/C SPACE	4,642 SF	4,723 SF

GARAGE	517 SF	517 SF
COVERED AREA 1ST FL	358 SF	407 SF
COVERED AREA 2ND FL	0 SF	0 SF
TOTAL SPACE	5,517 SF	5,647 SF

REVISIONS

Date Of Issue
 MARCH-15-2012

FLOOR PLAN



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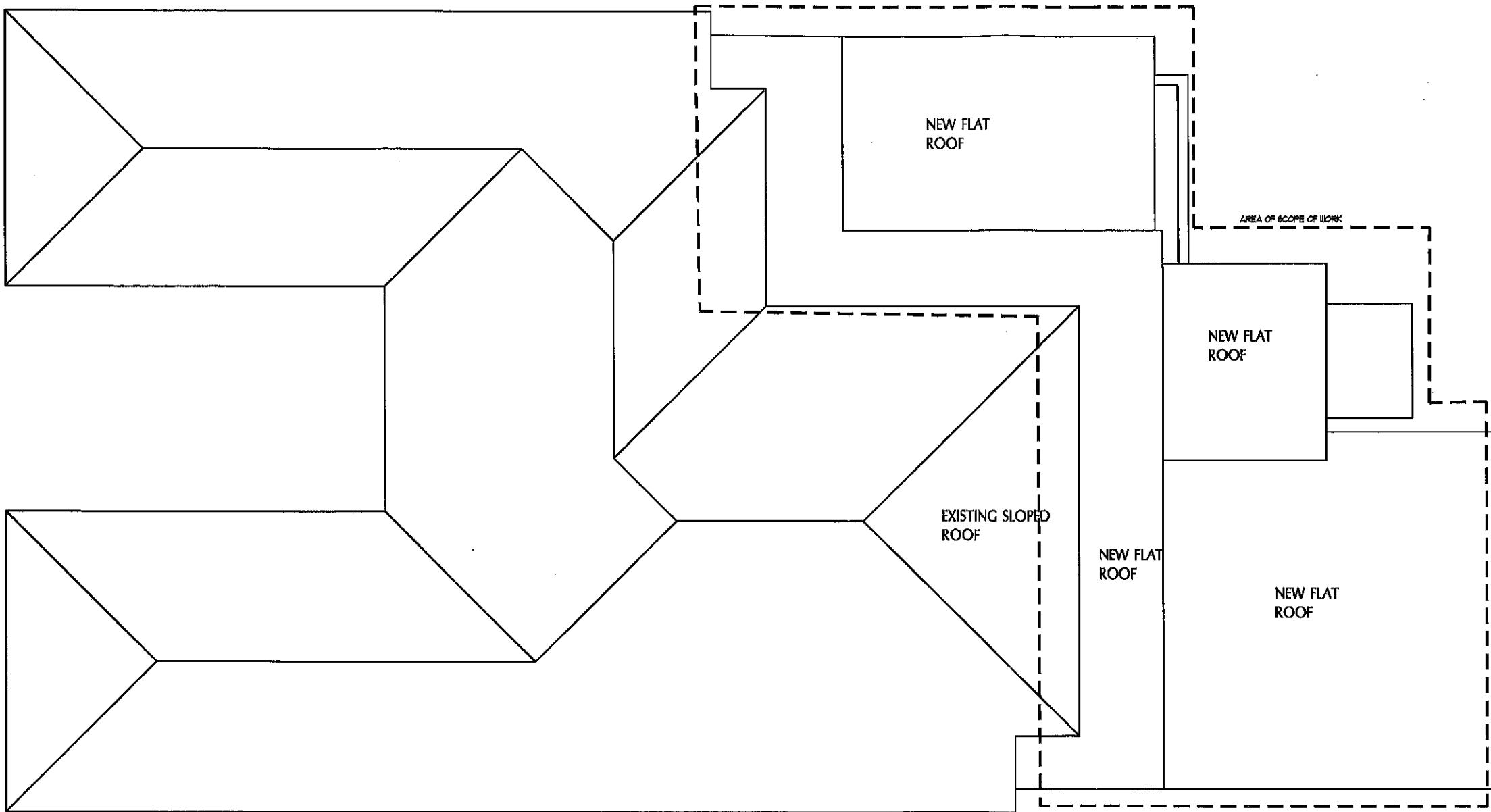
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FLOOR PLAN



ATTACHMENT B
Aerial Photograph



949 South Northlake Drive